



CITY OF MIAMI SPRINGS, FLORIDA

Mayor Xavier M. Garcia

Vice Mayor Jaime A. Petralanda
Councilman Billy Bain

Councilman Michael Windrem
Councilman George V. Lob

Decorum: "Any person making impertinent or slanderous remarks or who becomes boisterous while addressing the City Council, shall be barred from further audience before the City Council by the Mayor, unless permission to continue or again address the City Council is granted by the majority vote of the City Council members present. In accordance with the foregoing, the City Council has determined that racial or ethnic slurs, personal attacks and comments unrelated to City matters or issues constitute prohibited comments from the podium."

CITY COUNCIL SPECIAL MEETING AGENDA **Wednesday, January 21, 2015 – 7:00 p.m.** **City Hall, Council Chambers, 201 Westward Drive**

1. Call to Order/Roll Call

2. Invocation: Mayor Garcia

Salute to the Flag: Audience participation

3. New Business

A) Presentations from the two shortlisted companies who responded to Design-Build Project for Miami Springs Aquatic Facility RFP# 01-14/15:

| | |
|-------------------|----------------|
| West construction | 7:00 - 7:30 PM |
| Lunacon Group | 7:30 - 8:00 PM |

B) Discussion and selection of a Design-Build contractor


4. New Business

A) Presentations from the four shortlisted firms who responded to Request for Qualifications #03-13/14 for Architectural, Engineering, Planning, Design and Staff Support Services:

| | |
|---------------------------|-----------------|
| Craven Thompson & Assoc. | 8:30 - 9:00 PM |
| Miller Legg | 9:00 - 9:30 PM |
| Calvin, Giordano & Assoc. | 9:30 – 10:00 PM |
| CPH, Inc. | 10:00 - 10:30PM |

B) Discussion and Selection of a Firm

5. Adjourn

Please visit www.miamisprings-fl.gov for current meeting schedule or follow us on  Twitter @MIAMISPRINGSFL

Live streaming video of this meeting is available at <http://www.miamisprings-fl.gov/webcast>.

Anyone wishing to obtain a copy of an agenda item may contact the City Clerk at (305) 805-5006, download the complete agenda packet from www.miamisprings-fl.gov or view the materials at City Hall during regular business hours.

Pursuant to Florida Statute 286.0114, the City Council provides the public with a reasonable opportunity to be heard on all matters.

If any person decides to appeal any decision of this Board with respect to any matter considered, s/he will need a record of the proceedings and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is made (F. S. 286.0105), all of which the City does not provide.

In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the City Clerk, 201 Westward Drive, Miami Springs, Florida 33166. Telephone: (305) 805-5006, no later than (7) days prior to the proceeding.

Pursuant to Sec. 2-11.1 (S) of the Miami-Dade County Code and Miami Springs Code of Ordinances Chapter 33 - §33-20, all persons, firms or corporations employed or retained by a principal who seeks to encourage the passage, defeat, or modifications of (1) ordinance, resolution, action or decision of the City Council; (2) any action, decision, recommendation of any City Board or Committee; or (3) any action, decision or recommendation of City personnel during the time period of the entire decision-making process on such action, decision or recommendation which will be heard or reviewed by the City Council, or a City Board or Committee shall register with the City before engaging in any lobbying activities on forms prepared for this purpose and shall state under oath his or her name, business address, the name and business address of each person or entity which has employed said registrant to lobby, and the specific issue on which he or she has been employed to lobby. A copy of the lobbyist registration form is available from the Office of the City Clerk.



Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive RFP No. 01-14/15



Submitted By:
West Construction, Inc.
West Architecture + Design, LLC
Contact: Martha A. Morgan, President
318 South Dixie Highway, Suite 4-5
Lake Worth, FL 33460
E-mail: mamorgan@westconstructioninc.net
Phone: 561-588-2027 / Fax: 561-582-9419

Prepared For:
City Clerk, 2nd Floor
Miami Springs City Hall
201 Westward Drive
Miami Springs, Florida 33166-5259

Thursday, December 11, 2014
at 2:30 PM

DESIGN/BUILD RFP # 01-14/15

TAB A

Title Page

TAB B

Summary of Qualifications

TAB C

Summary of Capabilities and Finances

TAB D

Project Drawings and Specifications

TAB E

Proposal Pricing

TAB F

Required Forms





Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive RFP No. 01-14/15



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COMPANY PROFILE



West is dedicated to offering excellence in construction, architecture and professional services. As a woman owned company, we have achieved success through intensive collaboration with private and public clients.

West Construction was founded in 1969 on the principal of delivering well-crafted, highly functional and cost effective projects. Through 44 years of successful project delivery, we have evolved into an international corporation. With subsidiaries in Liberia, Puerto Rico, and the Caribbean, **West** possesses the ability to design, construct and manage projects throughout, Florida, the United States and the World.

Employing experts in their respective fields, **West** currently has 130+ employees working in the US and abroad. **West** Construction specialist, architects, estimators and support staff work in a collaborative environment that promotes team work through individual excellence. The sharing of knowledge from multiple professional perspectives allows **West** to offer a creative and efficient end product. Our staff has a diverse range of experience in creating special places to Live, Work, Shop and Play.

West Architecture + Design, LLC operates in direct collaboration with **West** Construction Inc. specializing on Design/Build project delivery. Under the leadership of Principals, Peter Ganci and Matthew West, **West** Architecture strives to achieve quality work through the highest level of Service, Design and Value for each project.

The ability to offer our clients a single point of contact for design and construction sets us apart from traditional architecture and construction companies. From initial Design to Final Construction, we possess the ability to direct all aspects of a project, anticipating the needs and objectives of the owner.

While **West** has grown substantially over the years, we have always remained focused on providing technical expertise, a passion for performance and outstanding attention to client satisfaction. We have completed municipal projects throughout Florida on both the West and East coast. Our ability to listen to our clients and adapt accordingly is the reason **West** is one of the leading construction firms in Florida.

West Construction, Inc.

Business Organization State of Florida – QB26507

Martha A. Morgan: State of Florida Certified Building Contractor – CBC057038

Matthew F. West: State of Florida Certified General Contractor – CGC1516626

West Architecture + Design, LLC.

State of Florida - AA26001503

Matthew F. West: Florida Registered Architect - AR93859





West Construction, Inc. will be the General Contractor

West Architecture + Design, LLC will be the Architect

Warren Von Werne, P.E., Inc. will be the Structural Engineer



TLC Engineering for Architecture will be the MEP Engineer



Calvin, Giordano and Associates, Inc. will be the Civil, Landscape, and Survey Engineer

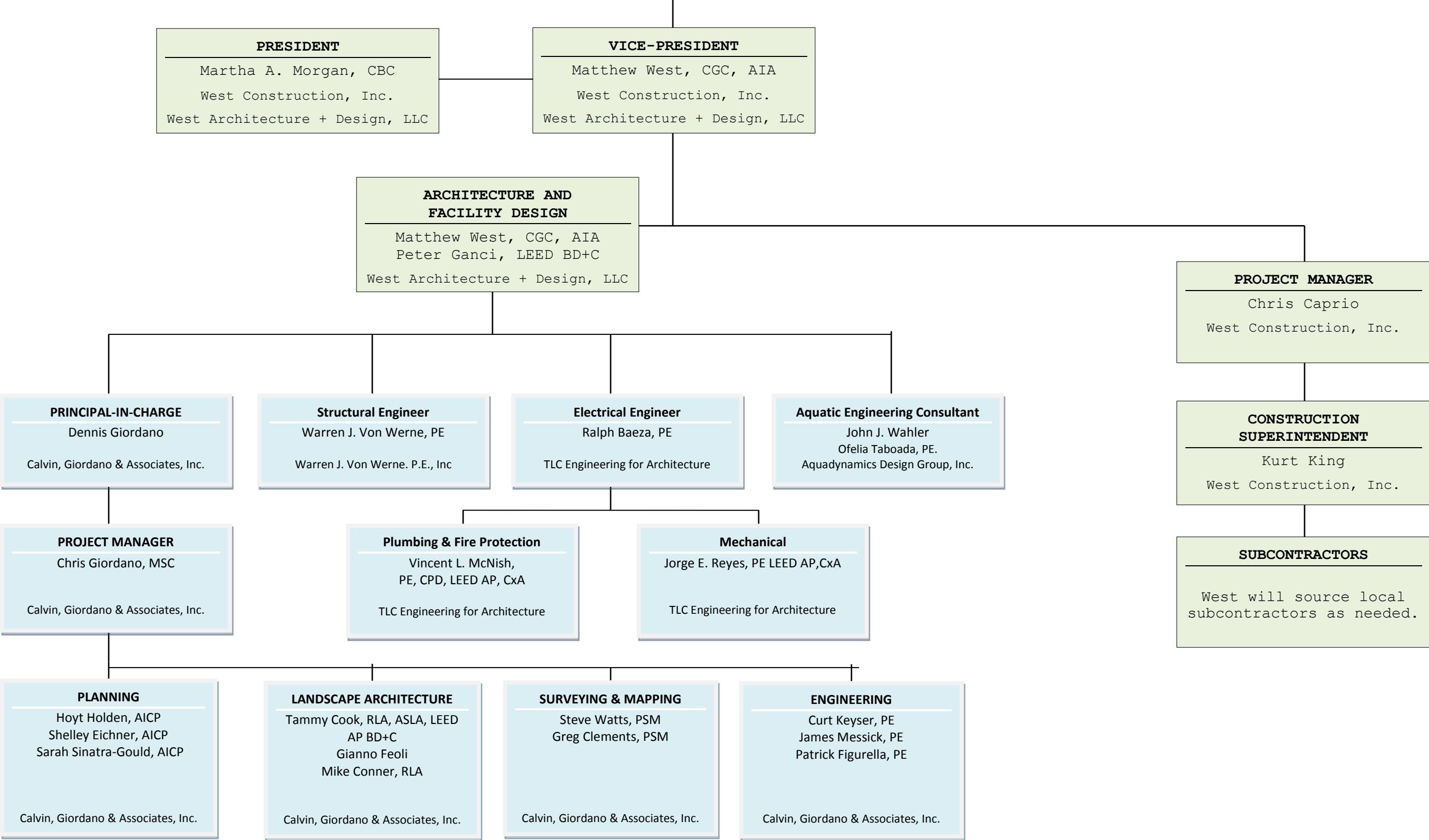


Aquadynamics Design Group, Inc. will be the Pool Designer





CITY OF MIAMI SPRINGS



KEY PERSONNEL RESUMES

Martha A. Morgan
CBC
President

Ms. Morgan is co-owner, president, treasurer and chief financial officer of the firm. Qualifications include degree in Business Administration and a Florida State Certified Building Contractor’s license. Her skills combine finance and core business operations to achieve successful business planning, financial planning and risk management. She oversees accounting, record keeping, financial reporting and human resources.

Experience

Total: 36 years
 With West: 27 years

Education

Bachelor Degree in Business Administration - Nova University

Credentials

Certified Building Contractor
 State of Florida CBC057038
 Real Estate Broker - State of Florida

Professional &

Community Affiliations

AGC - Florida East Coast Chapter

Project Experience

Congress Avenue Barrier Free Park

Boynton Beach, Florida
 \$1.4 Million
 Project Involvement: Controller



Congress Avenue Barrier Free Park

Surfside Community Center

Surfside, Florida
 \$4 Million
 Project Involvement: Controller



Surfside Community Center

Plantation Woods at Kennedy Park

Plantation, Florida
 \$510k, Entry sign, Playground, Splash Pad, Pavilions and Site work
 Project Involvement: Controller



Plantation Woods at Kennedy Park

Fort Mellon Park

Sanford, Florida
 \$4.4 Million
 Project Involvement: Controller



Fort Mellon Park

Mitchell Moore Aquatics Center

Pompano Beach, Florida
 \$3.9 Million
 Project Involvement: Controller



Mitchell Moore Aquatics Center

Royal Palm Beach Commons

Royal Palm Beach, Florida
 \$15.9 Million
 Project Involvement: Controller

Pioneer Park

Deerfield Beach, Florida
 \$456,597
 Project Involvement: Controller

Barracuda Bay Aquatics Facility

Rivera Beach, Florida
 \$1.9 Million
 Project Involvement: Controller



KEY PERSONNEL RESUMES

Matthew F. West
AIA, CGC
Vice President

As principal, Mr. West brings over 21 years of architectural and construction experience to the firm. His diverse project experience includes both public and private projects. In addition to his responsibilities for overseeing the firm, Mr. West is actively involved in all projects the firm has under contract.

Experience

Total: 21 years
 With West: 16 years

Education

Bachelor of Science in Architecture -
 Florida A & M University
 Bachelor of Architecture -
 Florida Atlantic University

Credentials

Florida Registered Architect
 Florida Certified General
 Contractor

**Professional &
 Community Affiliations**

- American Institute of Architects
- U.S. Green Building Council - S. Florida Chapter
- Associated General Contractors Board of Directors
- Lake Worth Chamber of Commerce
- Florida Trust for Historic Preservation
- National Trust for Historic Preservation

Project Experience

Congress Avenue Barrier Free Park
 Boynton Beach, Florida
 \$1.4 Million
 Project Involvement: Principal

Surfside Community Center
 Surfside, Florida
 \$4 Million
 Project Involvement: Principal

Plantation Woods at Kennedy Park
 Plantation, Florida
 \$510k, Entry sign, Playground, Splash Pad, Pavilions and Site work
 Project Involvement: Principal

Fort Mellon Park
 Sanford, Florida
 \$4.4 Million
 Project Involvement: Principal

Mitchell Moore Aquatics Center
 Pompano Beach, Florida
 \$3.9 Million
 Project Involvement: Principal

Royal Palm Beach Commons
 Royal Palm Beach, Florida
 \$15.9 Million
 Project Involvement: Principal

Pioneer Park
 Deerfield Beach, Florida
 \$456,597
 Project Involvement: Principal

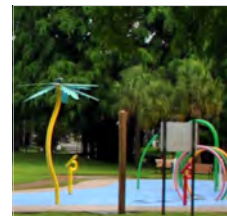
Barracuda Bay Aquatics Facility
 Rivera Beach, Florida
 \$1.9 Million
 Project Involvement: Principal



Congress Avenue Barrier Free Park



Surfside Community Center



Plantation Woods at Kennedy Park



Fort Mellon Park



Mitchell Moore Aquatics Center



KEY PERSONNEL RESUMES

Peter Ganci

Assoc AIA, LEED® AP BD+C
Principal

Mr. Ganci is a co-founder and principal in charge of design and production of the projects within the firm. He has a diverse range of experience in both public and private projects. In addition to his management duties, Mr. Ganci oversees assignments from the beginning to the end, producing drawings and coordinating fully with the client and consultants along the way. He ensures that each project is developed with the firm's commitment to excellence.

Experience

Total: 23 years
With West: 7 years

Education

Bachelor of Design in Architecture -
University of Florida
Bachelor of Architecture -
Florida Atlantic University

Credentials

LEED® Accredited Professional
United States Green Building Council
Preservation Institute: Caribbean,
University of Florida
BIM Education Program
AGC Florida East Coast Chapter
REVIT Program
Palm Beach State College

Professional & Community Affiliations

AIA - American Institute of Architects
NAIOP
USGBC-U.S. Green Building Council -
South Florida Chapter
BOMA - Building Owners and Managers
Association
ICSC - International Council of Shopping
Centers
ULI - Urban Land Institute
SMPS - Society of Marketing Professional
Florida Trust for Historic Preservation
National Trust for Historic Preservation
Indian Wells Home Owner's Association
(Architectural Review Board)

Project Experience**Stuart Memorial Park**

Stuart, Florida
\$1.6 Million, Entry Features, Bridges, Pavilions,
Ceremonial Plaza and Stage, Lake, Bio-swale
Project Involvement: Principal



Stuart Memorial Park

Plantation Woods at Kennedy Park

Plantation, Florida
\$510k, Entry sign, Playground, Splash Pad,
Pavilions and Site work
Project Involvement: Principal



Plantation Woods

Lake Catherine Sports Complex

Palm Beach Gardens, FL
\$810k, 2-story Clubhouse, Playground, site work
Project Involvement: Principal



Lake Catherine Sports Complex

Fire Station #110

Lauderhill, Florida
\$3.7 Million, 16,000 Square Feet, 2-Story, LEED
Project Involvement: Principal



Lauderhill Fire Station 110

Pahokee Marina

Pahokee, Florida
\$1.5 Million, Fuel tank enclosure building and site
work
Project Involvement: Principal



Pahokee Marina

Lindsey Davis Community Center

Riviera Beach, Florida
\$325k, 2-story (2,695 SF) addition
Project Involvement: Principal

Pioneer Park

Deerfield Beach, Florida
\$456,597
Project Involvement: Principal



KEY PERSONNEL RESUMES

Christopher Caprio

Operations/Project Manager

Mr. Caprio has over 20 years commercial and private construction experience and possesses strong labor and operational experience. He is committed to excellence in quality control and owner satisfaction. As the Senior Project Manager he plans, coordinates, monitors, controls, and closes out projects. He is in charge of all phases of the project life cycle.

Experience

Total: 29 years
With West: 8 years

Education

Bachelor of Science in Computer Science
Mercy College, Dobbs Ferry, NY
Union Certification in Carpentry
United Brotherhood of Carpen-
ters and Joiners of America,
New York, NY

Credentials

Certified by the Project Management
Institute
(PMI) as a Project Management
Professional
OSHA Safety Trained and Certified

Project Experience

Congress Avenue Barrier Free Park

Boynton Beach, Florida
\$1.4 Million
Project Involvement: Operations Manager



Congress Avenue Barrier Free Park

Surfside Community Center

Surfside, Florida
\$4 Million
Project Involvement: Operations Manager



Surfside Community Center

Plantation Woods at Kennedy Park

Plantation, Florida
\$510k, Entry sign, Playground, Splash Pad,
Pavilions and Site work
Project Involvement: Operations Manager



Plantation Woods at Kennedy Park

Fort Mellon Park

Sanford, Florida
\$4.4 Million
Project Involvement: Operations Manager



Fort Mellon Park

Mitchell Moore Aquatics Center

Pompano Beach, Florida
\$3.9 Million
Project Involvement: Operations Manager



Mitchell Moore Aquatics Center

Wilson Park

Boynton Beach, Florida
\$6.2 Million
Project Involvement: Operations Manager

Pompano Beach Community Center & Pool

Pompano Beach, Florida
\$3.3 Million
Project Involvement: Operations Manager

CB Smith Flume Slide Replacement

Fort Lauderdale, Florida
\$1.9 Million
Project Involvement: Operations Manager



KEY PERSONNEL RESUMES

Kurt King

On-Site Superintendent

Kurt will be responsible for managing the day-to-day field work including but not limited to, subcontractor quality and adherence to the plans and specifications, coordinating all inspections as well as preparing daily log reports and two and four week look ahead schedules.

Experience

Total: 14 years
With West: 11 years

Education

Associates Degree of Arts from
The University of Detroit

Credentials

Graduate of FAST Sprinkler School
30 Hour OSHA Certified

Project Experience

Congress Avenue Barrier Free Park

Boynton Beach, Florida
\$1.4 Million
Project Involvement: Superintendent



Congress Avenue Barrier Free Park

Surfside Community Center

Surfside, Florida
\$4 Million
Project Involvement: Superintendent



Surfside Community Center

Plantation Woods at Kennedy Park

Plantation, Florida
\$510k, Entry sign, Playground, Splash Pad, Pavilions and Site work
Project Involvement: Superintendent



Plantation Woods at Kennedy Park

Fort Mellon Park

Sanford, Florida
\$4.4 Million
Project Involvement: Superintendent



Fort Mellon Park

Mitchell Moore Aquatics Center

Pompano Beach, Florida
\$3.9 Million
Project Involvement: Superintendent



Mitchell Moore Aquatics Center

Wilson Park

Boynton Beach, Florida
\$6.2 Million
Project Involvement: Superintendent

Pompano Beach Community Center & Pool

Pompano Beach, Florida
\$3.3 Million
Project Involvement: Superintendent

CB Smith Flume Slide Replacement

Fort Lauderdale, Florida
\$1.9 Million
Project Involvement: Superintendent



EXPERIENCE

Congress Avenue Barrier Free Park

Boynton Beach, Florida

Project Info

Owner | City of Boynton Beach
Contract Amount | \$1.4 Million
Completion Date | October 2011
Contact | Kevin Ramsey
 Senior Project Manager
 561.742.6986

Project Description

The work consisted of construction of three (3) 180 square foot, single story restroom buildings constructed of concrete block under a single pre-engineered metal structure, and one (1) 660 square foot pre-fabricated metal picnic shelter and other site improvements, including play equipment, site furnishings, trails, landscaping and irrigation.

Site Features

Restroom Buildings
 Water Features
 Landscaping
 Pre-fab Metal Picnic Shelter
 Play Equipment
 Trails
 Landscaping & Irrigation



Services Provided

General Construction



EXPERIENCE

Surfside Community Center

Surfside, Florida

Project Info

Owner | Town of Surfside
Contract Amount | \$4 Million
Completion Date | June 2011
Contact | Chris Giordano
 Project Manager
 954.921.7781

Project Description

Construction of a community center, aquatics complex and beach amphitheater. Included in the project are landscaping, site lighting and shade structures. The aquatics complex includes a lap pool, water slide and water features including splash pads and fountains.

Site Features

- Amphitheater
- Pool and Associated Water Features
- Landscaping
- Site Lighting
- Shade Structures



EXPERIENCE

Plantation Woods at Kennedy Park

Plantation, Florida

Project Info

Owner | City of Plantation
Architect | West Architecture + Design, LLC
Contract Amount | \$510,222
Completion Date | April 2010
Contact | Susan DiLaura
 Public Relations
 954.797.2221

Project Description

Artistically sculptured trees and squirrel entry signage to new playground, swing sets, and interactive water feature splash pad. The site includes two pavilions along brick paved paths and log benches.

Site Features

- Entry Signage
- Playground Equipment
- Swing Sets
- Interactive Water Features
- Pavilions
- Log Benches

Services Provided

Design / Build



EXPERIENCE

Fort Mellon Park

Sanford, Florida

Project Info

Owner | City of Sanford
Contract Amount | \$4.4 Million
Completion Date | April 2009
Contact | Robert Beall
 Project Manager
 407.688.5080, Ext. 5423

Project Description

Project included interactive splash pad, a playground including a ship and a fort, two basketball courts, park rangers office, pump building, rest-rooms, nine picnic pavilions and a trail with exercise stations. Decorative stone work was used as well as assorted site amenities such as overhead shade trellises.

Site Features

\$1,000,000.00 Interactive Water Feature
 Playground
 Pavilions
 Site Utilities
 Vita Trail
 Restroom Building

Services Provided

Site Work
 Concrete
 Carpentry
 Construction Management



EXPERIENCE

Mitchell Moore Aquatics Center

Pompano Beach, Florida

Project Info

Owner | City of Pompano Beach

Contract Amount | \$3.9 Million

Completion Date | March 2008

Contact | Mark Beaudreau
Recreation Program
Administrator
954.786.4191

Project Description

Demolition of an existing pool/bathhouse building and construction of a new 2900 square foot building to house the ticket and concession areas, family bathrooms, restrooms, lifeguard area and pool pump room. Also included was the installation of the new stainless steel competition pool imported from Europe. The pool is complete with one meter dive stands, starting blocks, backstroke flags and lane line dividers. The project had to be completed on time as a grant for the City could have been jeopardized. Extensive fence, railings, sod, sports lighting and landscaping complete the site amenities and offer the community an excellent recreational facility with plenty of space for competitive events.

Features

Stainless Steel Competition Pool
Pool Deck
Concession Area
Arts & Crafts Room
Site Utilities
Geothermal Pool Heating Units
Site Amenities



Services Provided

Site Work
Concrete
Carpentry
Construction Management



EXPERIENCE

Wilson Park

Boynton Beach, Florida

Project Info

Owner | City of Boynton Beach
Contract Amount | \$6.2 Million
Completion Date | January 2008
Contact | Wally Majors
 Director
 561.742.6255

Site Features

Community Building
 Catering Kitchen
 Multi-Purpose Room
 Community Pool/Pool House
 Playgrounds
 Basketball Courts

Services Provided

Concrete
 Carpentry
 Site Work
 Construction Management

Project Description

The 13,816 square foot Community Center is a state of the art, mixed use facility with emphasis on community activity and support. It includes recreation rooms, a full kitchen, conference rooms and classrooms for community use. The two-story building offers an elevator and many decorative features including imported tile, a metal roof with a cupola, second floor balcony and outriggers. In addition to the community building, this project also contains a community pool, playgrounds, basketball courts and open fields for residents sports activities.



EXPERIENCE

Pompano Beach Community Park & Pool

Pompano Beach, Florida

Project Info

Owner | City of Pompano Beach
Contract Amount | \$3.3 Million
Completion Date | December 2006
Contact | Mark Beaudreau
 Recreation Program
 Administrator
 954.786.4191

Site Features

25M X 50M Competition Pool
 Retrofitted Existing Pool
 Retrofitted Existing Pump House
 Pool Deck
 2,900 SF Pool Building
 Associated Parking
 Landscaping

Services Provided

Concrete
 Carpentry
 Site Work
 Construction Management

Project Description

This project consisted of demolishing an existing pool/bathhouse building while keeping the existing concrete pool for future use. The new 2,900 square foot building houses the ticket and concession areas, family bathrooms, restrooms, lifeguard area and pool pump room. The site included the installation of the new stainless steel competition pool imported from Europe. The pool is complete with one meter dive stands, starting blocks, backstroke flags, lane line dividers and a learn-to-swim area. The project had to be completed on time as a grant for the City could have been jeopardized. Extensive fence, railings, sod and landscaping complete the site amenities and offer the community an excellent recreational facility with two pools and plenty of space.



EXPERIENCE

Barracuda Bay Aquatics Facility

Riviera Beach, Florida

Project Info

Owner | City of Riviera Beach
Contract Amount | \$1.9 Million
Completion Date | July 2003
Contact | John Williams
 Director of Parks & Recreation
 561.845.4070

Project Description

Construction of an Amusement / Aquatics Facility for the City of Riviera Beach. Project included an Olympic sized pool as well as an interactive play pool for young children. Also included were water slides, splash pads, a concession facility and restrooms.

Site Features

Olympic Sized Pool
 Interactive Play Pool
 Water Slides and Tunnels
 Concession Facilities
 Restroom Facilities

Services Provided

Construction Management
 General Construction Services



Warren J. Von Werne, P.E., Inc.
Structural Engineering Consultants

11388 Okeechobee Blvd. Suite B-101

Royal Palm Beach, FL 33411

Phone – (561) 795-1818

Fax – (561) 795-1883

- Background: Warren J. Von Werne, P.E. Inc., is a structural engineering consulting firm with over 8 years of experience providing structural engineering services throughout the South Florida area. We have had a working relationship with West Architecture for five years and have been the structural engineer of record for several high profile and extremely complex projects.
- Experience:
- CB Smith Water Park
Pemproke Pines, Florida Completed 2013
Structural engineer of record for a new waterslide support structure at a public water park. Project included the design of structural steel supports, a new structural steel tower, and shallow concrete foundations.
- Pompey Park Community Center
Delray Beach, Florida Completed 2013
Structural engineer of record for renovations made to an existing community center. Project included repairs to the existing roof structure, new steel mechanical unit supports, and repair details for masonry walls.
- Pahokee Recreation Center
Pahokee, Florida Completed 2013
Structural engineer of record for a new elevated interior concrete gymnasium slab. Project included the design of a lightweight concrete flooring system over an existing piling foundation system.
- Broward Community College Aquatic Center
Broward County, Florida Completed 2013
Structural engineer of record for the repairs to an existing aquatic center building. Project included the design of repairs to an existing wood truss roof and repair details for existing masonry walls.
- Jupiter Aquatic Center
Jupiter, Florida Completed 2012
Structural engineer of record for an addition to an existing aquatic center building. Project included the design of a concrete roof, masonry walls, and a shallow concrete foundation.

Warren J. Von Werne, P.E.

President

Warren J. Von Werne, P.E., Inc.
11388 Okeechobee Blvd., Suite B-101
Royal Palm Beach, FL 33411
warren@vonwernepe.com

Education

UNIVERSITY OF MIAMI, Coral Gables, Florida
Bachelor of Science in Architectural Engineering
May 1994

Experience

WARREN J. VON WERNE, P.E., INC.
CONSULTING STRUCTURAL ENGINEERS
President
Jan 2006 - Present

Structural Engineer of Record for several projects including:

CB Smith Water Park, Pembroke Pines, FL
Jupiter Aquatic Center, Jupiter, FL
Broward College Aquatic Center, Ft. Lauderdale, FL
Pahokee Recreation Center, Pahokee, FL
Bill Bailey Community Center, Belle Glade, FL
Pompey Park, Delray Beach, FL
Coral Bay Park, Miami, FL
Morikami Park, Delray Beach, FL
South County Regional Park, Boca Raton, FL
Ormond Beach State Park, Ormond Beach, FL
Royal Palm Beach Commons Park, Royal Palm Beach, FL
Melrose Park, Ft. Lauderdale, FL

O'DONNELL, NACCARATO, MIGNOGNA,
& JACKSON
Vice President
Feb 1997 – Dec 2005

Structural Engineer of Record for several projects including:

Seminole Palms Water Park, Royal Palm Beach, FL
WPTV Channel 5 Building, West Palm Beach, FL
Downtown at the Gardens, Palm Beach Gardens, FL
Waterside Mall, Naples, FL



TLC Engineering for Architecture, Inc. provides clients with exceptional high-performance engineering design, consulting and energy services. Founded in 1955 and consistently ranked as one of the largest MEP and structural engineering firms in the country, TLC is an industry leader delivering high-performance building design and consulting services on a wide array of building types, including health care, commercial, educational, institutional, hospitality, retail, entertainment and more. TLC's extensive experience and expertise in these building types is applied to engineer high-performance, complex projects, on schedule and within budget.

Headquartered in Orlando, TLC has offices in Cocoa, Dallas, Deerfield Beach, Ft. Myers, Jacksonville, Miami, Nashville, New Orleans and Tampa. The team of 270+ professionals includes 75 PEs, 23 EIs, 86 LEED Accredited Professionals and 30 ACG Registered Commissioning Authorities, along with energy management professionals, building energy modeling professionals, healthcare facility design professionals, and certified specialists in indoor air quality, plumbing design, security, technology and control systems. TLC has provided engineering design and energy services for buildings across the United States and in numerous foreign countries.

MEP/FP – In addition to designing complex, high-performance mechanical, electrical, plumbing and fire protection systems for a wide variety of new and renovated building types, TLC's MEP/FP design experience and expertise includes central plants, utility distribution, indoor air quality, code compliance review, comprehensive master plans and feasibility studies, along with specialized systems such as pre-conditioned air, thermal energy storage, low temperature air distribution, computer power distribution, heat pipe and desiccant systems for humidity control, chilled beams, variable refrigerant flow and the latest technology in building controls.

Structural – TLC specializes in structural solutions that are as creative as they are functional, with particular expertise in structural analysis and design, 3-D computer modeling, building and threshold inspections, existing building evaluations and investigations. TLC has extensive experience in high-rise and long-span buildings, historical renovations, rail projects and forensic analysis.

Communications & Technology – Using the latest software and tools, TLC's RCDD-credentialed staff produces cutting-edge designs that support unique project requirements. Rapidly evolving technology demands that designs are crafted for flexibility, growth and change. Specialized applications include integrated security, audio/visual presentation, voice/video/data distribution, public address/sound, acoustical analysis, intercom, closed circuit television, broadband distribution and video telepresence.

BIM – TLC was an early adopter of BIM for MEP and structural engineering, thus has more than a decade of experience, resulting in streamlined designs that are integrated with architectural partners, support construction activities and achieve clients' goals. TLC standard design and production tools include Revit MEP and Revit Structural and VE Pro for energy modeling and design analysis. TLC has interoperability experience in coordinating models via Navisworks, leveraging third-party software to enhance efficiency and using integrated project delivery (IPD) to gain constructability and real-time cost data.

Energy – In addition to designing high-performance new and renovated buildings, TLC provides an array of energy services focused on the design and operation of sustainable, energy-efficient existing buildings, including: energy auditing, new building commissioning (Cx), existing building commissioning (EbCx), net operating income improvements (NOII), energy modeling and sustainability consulting. TLC's staff of specialty LEED Accredited Professionals, Certified Commissioning Authorities, Energy Management Professionals and Building Energy Modeling Professionals has delivered 265 LEED-certified projects, as well as projects targeting compliance with the Florida Green Building Coalition, Green Globes and the Living Building Challenge. TLC was among the first MEP firms to commit to the AIA 2030 Challenge and continues to progress towards the aggressive goals embodied by this commitment.

TLC Engineering for Architecture, Inc. is an employee-owned corporation classified as a large business.



TLC Engineering for Architecture www.tlc-engineers.com

TLC Engineering for Architecture, Inc. provides clients with exceptional high-performance engineering design, consulting and energy services.

Brief Company History:

From our inception in 1955 as a one-man structural engineering firm, to our current strength of 300+ professionals and 11 offices in Florida, Tennessee and Texas, organic growth and acquisitions have made TLC Engineering for Architecture one of the largest building engineers in the country. Responding to the evolving complexity of building systems and market demands, the firm has expanded its services to include mechanical, electrical, plumbing, fire protection, structural, communications, technology and security systems, LEED design and consulting, commissioning, and energy engineering. We've provided engineering services for buildings in 46 states including Alaska and Hawaii, plus several foreign countries. TLC is an industry leader delivering high-performance building design and consulting services on a wide array of building types, including health care, commercial, educational, institutional, hospitality, retail, entertainment and more. TLC's extensive experience and expertise in these building types is applied to engineer high-performance, complex projects, on schedule and within budget.



Location of offices and Resources

Headquartered in Orlando, TLC has offices in Chattanooga, Cocoa, Dallas, Deerfield Beach, Ft. Myers, Jacksonville, Miami, Nashville, New Orleans and Tampa. The team of 300+ professionals includes 80 PEs, 23 EIs, 90 LEED Accredited Professionals and 34 ACG Registered Commissioning Authorities, along with energy management professionals, building energy modeling professionals, healthcare facility design professionals, and certified specialists in indoor air quality, plumbing design, security, technology and control systems. TLC has provided engineering design and energy services for buildings across the United States and in numerous foreign countries. For more information, visit our website at www.tlc-engineers.com



South Florida Operations

The TLC South Florida Operations has 30 employees. Erick Gonzalez, Director of South Florida Operations, leads a team consisting of mechanical, electrical, plumbing and fire protection engineers including Registered PEs, Certified In Plumbing Design Professionals (CPD), LEED Accredited Professionals, Building Energy Modeling Professionals (BEMP) and Certified Commissioning Authorities.

TLC Engineering for Architecture, Inc. is an employee-owned corporation classified as a large business.



Main local and Corporate Contacts

South Florida Leadership

Erick Gonzalez, PE, LEED AP, CxA

Director of South Florida Operations
5757 Blue Lagoon Drive, Suite 400
Miami, FL 33126
Off: 305.266.6553 x209
Cell 305.608.8496
erick.gonzalez@tlc-eng.com

Ralph Baeza, PE, LEED AP

Head of Electrical Department
5757 Blue Lagoon Drive, Suite 400
Miami, FL 33126
Off: 305.266.6553 x217
Cell: 786.514.7284
ralph.baeza@tlc-eng.com

Vincent McNish, PE, CPD, LEED AP, CxA

Mechanical Project Engineer
5757 Blue Lagoon Drive, Suite 400
Miami, FL 33126
Off: 305.266.6553 x210
Cell: 786.514.7301
vincent.mcnish@tlc-eng.com

Jose Lara, PE, LEED AP, CxA

Mechanical/Energy Project Engineer
5757 Blue Lagoon Drive, Suite 400
Miami, FL 33126
Off: 305.266.6553 x219
Cell: 786.556.0948
jose.lara@tlc-eng.com

Steve Samenski, PE, LEED AP, CxA, BEMP

Commissioning Project Engineer
800 Fairway Drive, Suite 250
Deerfield Beach, FL 33441
Off: 954.418.9096 x593
Direct: 954.418.4593
steve.samenski@tlc-eng.com

Brian Lomel, PE, LEED AP, CxA

Senior Sustainability Consultant
800 Fairway Drive, Suite 250
Deerfield Beach, FL 33441
Off: 954.418.4575
Cell: 954.439.6137
brian.lomel@tlc-eng.com

Jorge Reyes, PE, LEED AP, CxA

Head of Mechanical Department
800 Fairway Drive, Suite 250
Deerfield Beach, FL 33441
Off: 954.418.4585
Cell: 954.609.7882
jorge.reyes@tlc-eng.com

Jason Stinchcomb, PE, LEED AP, CxA

Senior Electrical Engineer
800 Fairway Drive, Suite 250
Deerfield Beach, FL 33441
Off: 954.418.4579
Cell: 954.401.6130
jason.stinchcomb@tlc-eng.com

Aniel Fernandez, PE, LEED AP

Mechanical Project Engineer
800 Fairway Drive, Suite 250
Deerfield Beach, FL 33441
Off: 954.418.4590
Cell: 954.6047423
aniel.fernandez@tlc-eng.com

Vanessa Bermudez, CPSM, LEED AP

Business Development Representative
5757 Blue Lagoon Drive, Suite 400
Miami, FL 33126
Off: 305.266.6553 x207
Cell: 305.401.7640
vanessa.bermudez@tlc-eng.com



Structural and Technology

Hasan Arouri, PE

Senior Structural Engineer
255 S. Orange Avenue, Suite 1600
Orlando, FL 32801
Off: 407.487.1304
Cell: 407.312.9585
hasan.arouri@tlc-eng.com

Tom L. Munson, RCDD, CPTED, CTS

Director of Technology
255 S. Orange Avenue, Suite 1600
Orlando, FL 32801
Off: 407.487.1401
Cell: 407.421.9907
tom.munson@tlc-eng.com

Corporate

Debra Lupton, AIA, LEED AP

Chief Executive Officer
255 S. Orange Avenue, Suite 1600
Orlando, FL 32801
Off: 407.941.8050
Direct: 407.487.1001
debra.lupton@tlc-eng.com

Brett McKinstry, PE, LEED AP

Chief Operating Officer
255 S. Orange Avenue, Suite 1600
Orlando, FL 32801
Off: 407.841.9050
Direct: 407.487.1006
brett.mckinstry@tlc-eng.com

Mark Gelfo, PE, LEED AP, CxA

Director of Business Development and Sustainability
1650 Prudential Drive, Suite 200
Jacksonville, FL 32207
Off: 904.306.9111
Cell: 904.613.1107
mark.gelfo@tlc-eng.com



Services Offered

MEP/FP – In addition to designing complex, high-performance mechanical, electrical, plumbing and fire protection systems for a wide variety of new and renovated building types, TLC's MEP/FP design experience and expertise includes central plants, utility distribution, indoor air quality, code compliance review, comprehensive master plans and feasibility studies, along with specialized systems such as pre-conditioned air, thermal energy storage, low temperature air distribution, computer power distribution, heat pipe and desiccant systems for humidity control, chilled beams, variable refrigerant flow and the latest technology in building controls.



Mr. Chow Restaurant

Structural – TLC specializes in structural solutions that are as creative as they are functional, with particular expertise in structural analysis and design, 3-D computer modeling, building and threshold inspections, existing building evaluations and investigations. TLC has extensive experience in high-rise and long-span buildings, historical renovations, rail projects and forensic analysis.

Communications & Technology – Using the latest software and tools, TLC's RCDD-credentialed staff produces cutting-edge designs that support unique project requirements. Rapidly evolving technology demands that designs are crafted for flexibility, growth and change. Specialized applications include integrated security, audio/visual presentation, voice/video/data distribution, public address/sound, acoustical analysis, intercom, closed circuit television, broadband distribution and video telepresence.

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TLC also provides an array of energy services focused on the design and operation of sustainable, energy-efficient existing buildings, including: energy auditing, new building commissioning (Cx), existing building commissioning (EbCx), net operating income improvements (NOII), energy modeling and sustainability consulting. TLC's staff of specialty LEED Accredited Professionals, Certified Commissioning Authorities, Energy Management Professionals and Building Energy Modeling Professionals has delivered 200+ LEED-certified projects, as well as projects targeting compliance with the Florida Green Building Coalition, Green Globes and the Living Building Challenge. TLC was among the first MEP firms to commit to the AIA 2030 Challenge and continues to progress towards the aggressive goals embodied by this commitment.



BCC South Regional Library

LEED Consulting - Our staff is available to assist an owner with preliminary LEED feasibility studies, registration and leading the certification process, including performing calculations and completing templates required for LEED certification. The experience of guiding projects through the certification process has given our team working knowledge of strategies best suited for our environment.

Energy Modeling: Energy modeling is a very powerful tool that, when used effectively, can provide significant savings for a project. TLC's promotes an integrated design with the entire team to analyze multiple options for common building features such as building envelope, HVAC equipment and lighting systems simultaneously to identify the most effective energy saving strategies. In our experience, it is best to create an energy model early in the design process to help identify the most effective strategies. The longer you wait, the less opportunity you have to implement changes to the design and use energy modeling effectively. TLC has successful experience with 3D energy modeling software such as IES VE PRO to demonstrate the value of energy saving strategies such as envelope enhancements, (insulation, roof color, window louvers, fins, overhangs and orientation), HVAC equipment, lighting controls & daylight harvesting.



Daylight Harvesting - Studies have shown that providing natural lighting in a space improves sales in retail stores, learning in schools and performance in office space. In addition to improved environmental quality, daylight harvesting is the number-one strategy for reducing energy consumption in a building. Our design professionals are adept in lighting design and control, along with HVAC adjustments which allow owners to reap the benefits of reduced lighting energy consumption.

Commissioning (Cx) - Commissioning is performed by a team of design and construction professionals led by a certified Cx Authority (CxA). Commissioning services include consultation with owners over project goals, design reviews, custom functional and pre-functional test writing, submittal reviews, observation of staff training, Cx specifications, Cx reports and the creation of system manuals.

Storm Water Collection and Reuse - Storm water and air handling unit (AHU) condensate can be collected for usage in landscape applications, wastewater reductions and cooling tower re-feeding. Our experience in coordination of storm water and condensate lines to cistern collection points as well as distribution of the harvested water allows us to make recommendations for efficient sustainable applications for re-using the storm water that can be collected on your site.



LEED for Existing Buildings: Operations & Maintenance (LEED EBOM): With LEED EBOM, our LEED Accredited Professionals first verify if the existing building conditions can be upgraded to meet the nine prerequisites required for certification. If the prerequisites can be met, we then proceed with a thorough evaluation of the building systems to identify, describe and prioritize the minimum building modifications and alterations required to achieve the prerequisites. Next, we determine how to maximize the building's operational efficiency while minimizing the environmental impacts. Finally, we provide the owner with a description of the activities and programs needed to accomplish LEED EBOM certification, including scheduling timelines and cost estimates.



Experience

Healthcare

Nemours Children's Hospital, Orlando, FL
Homestead Replacement Hospital, Homestead, FL
All Children's Hospital and Medical Office Building, St. Petersburg, FL
Florida Hospital Memorial Medical Center, Daytona Beach, FL
Gateway Medical Center, Clarksville, TN



Education

University of Florida Research and Academic Center at Lake Nona, Orlando, FL
Florida International University Football Stadium, Miami, FL
Florida Atlantic University Wellness Center, Boca Raton, FL
University of Central Florida Academic Village II, Orlando, FL
University of South Florida Marshall Student Center, Tampa, FL



Transportation

Miami International Airport South Terminal Expansion, Miami, FL
Miami International Airport A-B Infill, Miami, FL
Tampa International Airport Airside C, Tampa, FL
Orlando International Airport South Terminal, Orlando, FL
Ft. Lauderdale/Hollywood Intl. Airport Terminal 4, Hollywood, FL



Entertainment/Restaurant/Retail

Salvador Dali Museum, St. Petersburg, FL
Mr. Chow Restaurant, Miami Beach, FL
JetBlue Park at Fenway South, Ft. Myers, FL
Amway Center, Orlando, FL
Dr. Phillips Center for the Performing Arts, Orlando, FL





Governmental

Village of Palmetto Bay Municipal Center, Palmetto Bay, FL
Tyndall Air Force Base Fitness Center, Panama City, FL
Sunrise Public Safety Building and Fire Station, Sunrise, FL
Dallas South Central Police Station, Dallas, TX
Cape Coral Police Department Headquarters, Cape Coral, FL



Justice

Miami Dade Children's Courthouse, Miami, FL
Marion County Jail Expansion, Ocala, FL
Manatee County Judicial Center, Bradenton, FL
Palm Beach County Jail Expansion, Palm Beach, FL
Duval County Unified Courthouse, Jacksonville, FL



Commercial Office

Office Depot Global Headquarters, Boca Raton, FL
Bacardi Global Headquarters, Coral Gables, FL
Orlando Utilities Commission Headquarters, Orlando, FL
Nestle Manufacturing Plant Addition, Anderson, IN
Digital Domain, Port St. Lucie, FL



Housing/Hospitality

Fontainebleau Resort Renovations, Miami Beach, FL
Sand Pearl Resort Renovations, Clearwater, FL
55 West Mixed Use, Orlando, FL
The Morgan Center, Jekyll Island, GA
David Crockett State Park Green Cabins, Lawrenceburg, TN



VINCENT L. MCNISH, P.E., CPD, LEED AP, CxA
Associate/Mechanical, Plumbing & Fire Protection Engineer

EXPERIENCE

Vincent has more than twenty years experience in all phases of mechanical engineering analysis and design for HVAC systems for all building types including educational, commercial and industrial facilities. His areas of expertise are various types HVAC systems, central cooling and heating plants, building pressure and thermal load analysis, building energy conservation related to HVAC systems.

Plumbing experience involves commercial and residential building configurations, systems design and code compliance studies. Fire Protection designs include wet, dry and pre-action systems experience. Several types of hazards occupancies include low and medium high-rise commercial and residential buildings. Project experience includes:

City of Sunny Isles Pelican Community Park Recreation Building, Sunny Isles, Florida

New two-story, 13,000 square foot community center building and a basketball/gymnasium building of approximately 9,900 square feet. The community center building is to include some offices, several multi-purpose spaces, a warming kitchen and a pantry for the use of caterers. The Gymnasium is to include a full-size basketball court and a snack bar area/\$7.4 million.

YMCA South Dade Branch, Miami, Florida

The project is to consist of a new building to include administrative offices, a youth / community center, wellness venues, an outdoor aquatic center with a pool having 3,200 sq. ft of surface area, locker rooms and ancillary spaces such as mechanical and electrical rooms. There will also be an exterior play yard and basketball courts. The total area of building construction will be approximately 35,328 sq. ft./\$7.3 million.

Miami-Dade County, Parks Pool Renovations, Miami-Dade County, Miami, Florida

Preparation of design criteria bidding documents and subsequent construction administration phase services for the pool renovations at the following five parks: AD Barnes Park, Cutler Ridge Park, Gwen Cherry Park, South Dade Park, Tamiami Park.

West Perrine Aquatic Center, Miami, Florida

Expansion of the existing park to include a new bath house building of approximately 5,340 sq ft., a new roofed, open shelter, a new recreation pool, a water activity pool, new lighted pool decks with outdoor , rinse showers, and a 34 car, lighted surface parking lot. The pool is to be provided with water heating equipment

City of Plantation Deicke Auditorium, Plantation, Florida

Design/Build project consisting of multiple renovations to a 8,345 sq. ft facility used for meetings and cultural events throughout the year. Renovations include lighting renovations, air conditioning system replacements, renovations to four restrooms, kitchen renovation.



EDUCATION

*Bachelor of Science in
Mechanical Engineering
University of West Indies
1984*

*Master of Science in
Mechanical Engineering
Florida International University
1992*

*Certified in Plumbing
Design (CPD)
2001*

**PROFESSIONAL
REGISTRATION**
Florida #53287

**PROFESSIONAL
ACCREDITATION**
*Leadership in Energy and
Environmental Design (LEED)*

*Certified Commissioning Authority
(CxA)*



JORGE E. REYES, P.E., LEED AP, CxA
Principal/Senior Mechanical Engineer

EXPERIENCE

Jorge experience includes the design of several large commercial and educational facilities in the United States as well as in South America. Jorge has nineteen years of experience including all phases of mechanical engineering analysis and design for HVAC, thermal energy storage systems for all building types, and process piping. Jorge's project experience includes educational facilities, aviation, and government buildings.

Jorge brings the perfect combination between leadership and creativity. He is a supporter of new ideas and innovative solutions for our clients. He is an energetic leader of our team and builds solid relationships not only with his clients but also with his mechanical staff. Some examples of his recent work are the following:

City of Sunny Isles Beach Pelican Community Center, Sunny Isles, Florida

New two-story, 13,000 square foot community center building and a basketball/gymnasium building of approximately 9,900 square feet. The community center building is to include some offices, several multi-purpose spaces, a warming kitchen and a pantry for the use of caterers. The Gymnasium is to include a full-size basketball court and a snack bar area/22,000 sf/\$7.4 million.

YMCA South Dade Branch, Miami, Florida

The project is to consist of a new building to include administrative offices, a youth / community center, wellness venues, an outdoor aquatic center with a pool having 3,200 sq. ft of surface area, locker rooms and ancillary spaces such as mechanical and electrical rooms. There will also be an exterior play yard and basketball courts. The total area of building construction will be approximately 35,328 sq. ft./\$7.3 million.

Miami-Dade County Parks Pool Renovations, Miami, Florida

Preparation of design criteria bidding documents and subsequent construction administration phase services for the pool renovations at the following five parks: AD Barnes Park, Cutler Ridge Park, Gwen Cherry Park, South Dade Park, Tamiami Park, located in Miami-Dade County, Florida.

West Perrine Aquatic Center, Miami, Florida

Expansion of the existing park to include a new bath house building of approximately 5,340 sq ft., a new roofed, open shelter, a new recreation pool, a water activity pool, new lighted pool decks with outdoor , rinse showers, and a 34 car, lighted surface parking lot. The pool is to be provided with water heating equipment

City of Cuter Bay Lakes By The Bay, Cutler Bay, Florida

The project consists of changing the site plans to add batting cages, update – sport lighting system of city park for three baseball fields, two soccer fields, one concessions / restroom building, located in the City of Cutler Bay, Florida. \$10 million.



EDUCATION

*Bachelor of Science in
Mechanical Engineering
Florida Atlantic University
1993*

**PROFESSIONAL
REGISTRATION**

Florida #54904

**PROFESSIONAL
AFFILIATIONS**

*American Society of Heating,
Refrigeration, and Air Conditioning
Engineers (ASHRAE)*

**PROFESSIONAL
ACCREDITATION**

*Leadership in Energy and
Environmental Design
(LEED)
Certified Commissioning
Authority (CxA)*

EXPERIENCE

Ralph is a registered professional engineer with over thirty years of experience, in all aspects of electrical engineering, project management and design in the building construction industry. His background with engineering systems encompasses high, medium and low voltage power, normal and emergency power, lighting, fire alarm, telephone, television, public address, security, lighting protection, environmental control and building management for residential, commercial, institutional and industrial buildings. Ralph works as Senior Electrical Engineer and Project Manager leading the staff of engineers and designers by conducting design criteria, calculations, system layouts, coordination, specifications and construction observation. He is an astute troubleshooter and problem solver with the vision to develop and implement successful action plans. He has an accomplished track record of successfully designed and managed projects from programming to construction phase. Selected relevant projects include:

City of Sunny Isles, Pelican Community Center Recreation Building, Sunny Isles, Florida

New two-story, 13,000 square foot community center building and a basketball/gymnasium building of approximately 9,900 square feet. The community center building is to include some offices, several multi-purpose spaces, a warming kitchen and a pantry for the use of caterers. The Gymnasium is to include a full-size basketball court and a snack bar area. \$7.4 million.

Miami-Dade County, Parks Pool Renovations, Miami-Dade County, Miami, Florida

Preparation of design criteria bidding documents and subsequent construction administration phase services for the pool renovations at the following five parks: AD Barnes Park, Cutler Ridge Park, Gwen Cherry Park, South Dade Park, Tamiami Park.

City of Cuter Bay Lakes By The Bay, Cutler Bay, Florida

The project consists of changing the site plans to add batting cages, update – sport lighting system of city park for three baseball fields, two soccer fields, one concessions / restroom building, located in the City of Cutler Bay, Florida. \$10 million.

West Perrine Aquatic Center, Miami, Florida

Expansion of the existing park to include a new bath house building of approximately 5,340 sq ft., a new roofed, open shelter, a new recreation pool, a water activity pool, new lighted pool decks with outdoor , rinse showers, and a 34 car, lighted surface parking lot. The pool is to be provided with water heating equipment

City of Plantation Deicke Auditorium, Plantation, Florida

Design/Build project consisting of multiple renovations to a 8,345 sq. ft facility used for meetings and cultural events throughout the year. Renovations include lighting renovations, air conditioning system replacements, renovations to four restrooms, kitchen renovation/8,345 sf .



EDUCATION

*Doctorate and
Masters Degree
Liberty University
2008*

*Master of Arts
Trinity International
University
2006*

*Master in Business
Administration
National University
of Honduras
1991*

*B.S., Electrical Engineering &
Industrial Engineering
National University
of Honduras
1984*

**PROFESSIONAL
REGISTRATION**
Florida #42641

**PROFESSIONAL
AFFILIATIONS**
*National Society of Professional
Engineers (NSPE)
Institute of Electrical and
Electronics Engineers (IEEE)*

**PROFESSIONAL
ACCREDITATION**
*Leadership in Energy and
Environmental Design (LEED)*



Recreational/Athletic Facility Experience

- **Boca West Country Club Expansion, Boca Raton, Florida**
The expansion includes a new 135,000 sf clubhouse of multi function space and minor renovations of 2,500 sf for electric cart storage space within the existing cart storage and parking lot lighting. \$15 million/137,500 sf/2014/MEP/FP
- **Buffalo Creek Community Center, Manatee County, Florida**
Community Center building. \$2 million/12,000 sf/2007/MEP/FP
- **City of Delray Beach Western Community Center, Delray Beach Florida**
Phase I addition includes a 10,362 sf one-story building and Phase 2 included a 22,210-sf addition including catering kitchen. \$4 million/32,572 sf/2008/M/E
- **Clermont Waterfront Pavilion, Clermont, Florida**
Includes a community room, restroom, stage and storage space. 4,000 sf/2010/MEP/FP/S
- **Curtis Hixon Waterfront Park, Tampa, Florida**
New park on the Hillsborough River including site infrastructure for existing and future buildings including the Tampa Museum of Art, a pavilion, a restroom and a restaurant. Assisted in the power design and lighting specifications and coordination for two in-ground fountains. \$15.7 million/2010/E
- **Golden Oak Development, Lake Buena Vista, Florida**
 - Sales Center and Guardhouse – New 5,193 sf sales center and 300-sf guardhouse for new Golden Oak Development for Walt Disney World Corporation in conjunction with Four Seasons Hotel. Sales center will be converted to a home after development sales are completed. Formerly NERP and Bonnet Creek. **Certified LEED NC 2.2.** \$1.2 million/5,493 sf total/2009/MEP/FP/AV/VD/Security/LEED Consulting/Energy modeling
 - WDI Golden Oak Clubhouse – Iconic clubhouse to anchor new premier development by Disney World and the Four Seasons including lobby, concierge, 40-seat restaurant, demonstration kitchen, lounge, library/meeting room, sundry shop, fitness center, multi-purpose room and public restrooms. \$17.5 million/15,000 sf/2012/MEP/FP/CT
- **Highland Recreation Center, City of Largo, Florida**
New recreation center featuring an indoor running track, three-story indoor playground, “ExerPlay! Room” (digital/interactive fitness games), aerobics, weight training, cardio, multipurpose and office spaces. Designed to be Certified LEED NC 2.2. *AIA Florida’s 2012 AIA Florida/Caribbean Honor & Design Awards - Merit Award for Unbuilt Work.* \$8.5 million/40,000 sf/2012/MEP/Cx
- **Ibis Golf and Country Club, Palm Beach, Florida**
Renovations to the Clubhouse and addition of a bistro, tennis/fitness facility, pool locker room and spa. \$20 million/83,000 sf/2014/Construction Management

Mechanical Engineering

Heating, Ventilation
Air Conditioning
Thermal Storage
Plumbing
Fire Protection

Electrical Engineering

Power Generation & Distribution
Lighting Design
Fault Current Analysis
Overcurrent Device Coordination
Arc-Flash Analysis
Surge/Lightning Protection
Emergency/Standby Power

Structural Engineering

Foundations & Framing
System Evaluation
Deep & Shallow Foundations
Forensic Analysis
Seismic/Wind Analysis
Threshold Inspections
Anti-Terrorism/Force Protection

Communications & Technology

Integrated Security Systems
Voice/Data Distribution
Securitized Communications
Audio/Visual Presentation
Wired and Wireless
LCD, LED & DLP Technologies
Video Conferencing

Sustainable Design

LEED® Administration
Sustainability Consulting
Energy/Daylight Modeling
Building Commissioning
Net-Zero Design

Energy Services

Energy Auditing
Energy Star Analysis
Existing Building Commissioning
Net Operating Income Improvements
Renewable Energy Initiatives
Energy Eff. Bldg Deduction 179D



Recreational/Athletic Facility Experience

- **Intergenerational Recreation Facility, South Indian River County, Florida**
New facility located at the Regional Park site to accommodate indoor community exhibits and events, sports activities, senior citizen activities, and office and meeting rooms. \$4.4 million/20,000 sf/2013/MEP/FP/S
- **Jekyll Island Morgan Building, Jekyll Island, Georgia**
Adaptive reuse of the historic 1929 J. P. Morgan Tennis Building, including refurbishing exterior, as well as creating venue for weddings, meetings, banquets, and other events. Interior features a 1,750 sf mezzanine above the function area, new 2,000 sf food service/kitchen and restrooms, along with pre-function area. \$2.5 million/6,800 sf /2011/MEP/FP/AV/VD
- **Jonathan's Landing Sport and Clubhouse, Jupiter, Florida**
Renovation of HVAC system with a new chiller plant and new airside equipment for the clubhouse. \$1 million/33,000 sf /2009/M/E/P/S
- **Lakes By The Bay, Cutler Bay, Florida**
The project consists of changing the site plans to add batting cages, update sport lighting system of city park for three baseball fields, two soccer fields, one concessions / restroom building, located in the City of Cutler Bay, Florida. \$10 million / 2011 / Electrical /
- **Madison Senior Center, Madison, Florida**
New building including kitchen, dining, multi-purpose and craft rooms, restrooms, and administration spaces. \$1.3 million/10,850 sf/2009/MEP/FP/S
- **Montverde Academy, Clermont Sports Complex, Montverde, Florida**
New sports complex including athletic field, site lighting, new concession/restroom building, golf simulator building, press boxes and storage buildings. \$3 million/2009/MEP/FP/S
- **North Ft. Myers Community Center, Ft. Myers, Florida**
Reuse of single story recreation center with a gymnasium, locker/game/multi-purpose rooms and administrative offices. The building is used as an emergency shelter and provides emergency power for life safety code requirements. The mechanical system is run by two air cooled chillers. \$4.3 million/23,000 sf/2012/MEP/FP
- **Rhodes Park, West Melbourne, Florida**
Reuse of park prototypes. \$5 million/2010/MEP/FP/S
- **River Park Aquatic Facility, Naples, Florida**
New 2,980 sf bathhouse building, six-lane pool and children's pool. \$1.5 million/3,000 sf/2011/MEP/FP/S
- **Six-Mile Cypress Slough Preserve Interpretive Center, Ft Myers, Florida**
New interactive teaching center and boardwalk through cypress swamp allows visitors to view birds, alligators, wildlife, plants, flowers, ponds, trees, insects, and turtles. Project includes three solar panels for domestic hot water. **Certified LEED NC 2.2 Silver**. \$2 million/7,000 sf/2008/ MEP/FP/LEED design and energy modeling

- **Southridge Community Center, Miami, Florida**
Aquatic park includes 25-meter pool with integral diving well, a kiddie pool, a therapeutic pool, a community center building of approximately 7,000 sf with restroom, showers and adjacent parking area. \$2.7 million/ 2007/MEP/FP
- **Starling Club at FishHawk Amenity Center, Tampa, Florida**
Multi-building community amenity complex that features a lounge, movie viewing area, screened patio with numerous game tables, cardio room, playroom, restrooms and two pools, playground, dog park and other family focused play areas. **Certified LEED NC 2009 Gold**. \$1 million/ 5,750 sf/MEP/FP/S/Energy modeling/Cx
- **Viera Health First Fitness Center, Viera, Florida**
New fitness center including custom exercise spaces, strength and cardio training areas, state-of-the-art equipment, showers and locker rooms, natatorium, offices, wellness education classroom, kitchen, café-juice bar, outpatient rehabilitation center, central plant, porte cochere. \$13.6 million/ 70,000 sf/2008/S/MEP/Cx
- **Vizcaya Park and Community Center, Miramar, Florida**
One-story green community center building with space for recreation, computer education/activity, gaming, park concessions, office and support functions. Only 7,000 sf of the building is to be air conditioned. **Certified LEED NC 2.2 Gold**. \$9.1 million/11,659 sf/2009/Fundamental and enhanced Cx
- **Wa-Ka-Hatchee Park, Lee County, Florida**
Community park including street work, parking, ball fields, individual maintenance, concession buildings, splash park, picnic shelters, lake shelters and retaining walls, pedestrian bridge, pavilions and entry feature/2009/M/E
- **West Perrine Aquatic Center, Miami, Florida**
Expansion of the existing park to include a new bath house building of approximately 5,340 sq ft., a new roofed, open shelter, a new recreation pool, a water activity pool, new lighted pool decks with outdoor , rinse showers, and a 34 car, lighted surface parking lot. The pool is to be provided with water heating equipment
- **Woodfield Country Club, Boca Raton, Florida**
Renovation to the existing clubhouse include 31,173 sf of new HVAC and lighting and a 16,000-sf addition. The Fitness Center includes 22,500 sf of renovations including HVAC and lighting and new addition of 5,000 sf. Additional work includes new Tiki center of 17,500 sf, pool equipment area, parking garage, and new 3,000 sf HOA building. \$30 million / 92,473 sf/ MEP / FP / S / 2013

Calvin, Giordano & Associates, Inc. (CGA) is a multi-disciplinary firm that began as a small two person-surveying firm in Florida over 77 years ago. From 1937 to 2014, CGA has grown to over 300 employees, expanded geographically with offices in Fort Lauderdale, West Palm Beach, Port St. Lucie, Homestead, Clearwater, Jacksonville and Atlanta, Georgia.

CGA has strategically added an exceptionally broad range of services to meet our clients' needs. Their professional services include:

- Building Code Services
- Coastal Engineering
- Code Enforcement
- Construction Engineering & Inspection
- Construction Services
- Data Technologies & Development
- Emergency Management Services
- Engineering
- Environmental Services
- Governmental Services
- Indoor Air Quality
- Landscape Architecture
- Municipal Engineering
- Planning
- Public Administration
- Redevelopment & Urban Design
- Renewable Energy
- Resort Development
- Surveying and Mapping
- Transportation Planning and Traffic Engineering
- Utility & Community Maintenance Services
- Water Resources Management

LANDSCAPE ARCHITECTURE

The Landscape Architecture Division offers comprehensive landscape design services integrated into a multi-disciplined environment with a variety of professional perspectives and experiences. In developing a design, CGA takes special care to evaluate green design and sustainable alternatives and provide specialized research on the site's conditions, hydrology, existing vegetation and site characteristics. CGA will ensure the surface water infrastructure, drainage, utilities and safety considerations are adhered to minimize any potential conflicts that may arise as a result of any proposal. CGA also provides a broad array of project experiences. A few of these include hardscape, greenway and streetscape design; recreational and park facilities design; municipal landscape code review and inspection services; redevelopment master planning; arborist and vegetation services; and, of course, design of development of planting plans for various conditions, including parks and open space, roadway and beautification, environmental mitigation, buffer creations, and site planting design.

PLANNING

The goal of the Planning Department at CGA is to provide innovative planning services that exceed client expectations. With a diverse team of professionals and technical staff, CGA possesses the expertise and experience that encompasses all facets of the planning and development process. The firm provides complete development and site plan review services, including due diligence report writing, rezonings, land use plan amendments, and comprehensive planning. CGA's planning staff possesses a thorough and complete understanding of planning processes from both a public and private perspective and from municipal to state authority.

SURVEYING AND MAPPING

CGA's team experience covers a broad spectrum of land surveying services. CGA has experience working with state, municipal, and private-sector projects. CGA has fully equipped survey crews, which can mobilize within 48 hours' notice.

The Surveying and Mapping Division of CGA uses the latest technology when preparing surveys, including GPS equipment, automated data collection, laser scanners, underground utility detection technologies and a vacuum/slurry subsurface excavation system called the VaXcavator that exposes existing underground utilities. Operated by one of the field survey crews, the VaXcavator allows us to obtain subsurface horizontal and vertical locations required for design, in previously developed areas. Additionally, Hypack software and Odom sounders allow CGA to offer hydrographic surveying services. By integrating with our Trimble GPS units, the equipment creates a three-dimensional model of the water body being surveyed with tremendous accuracy and speed.

Throughout all phases of a project, Calvin, Giordano & Associates, Inc. (CGA) makes a commitment to provide the utmost levels of quality control and professionalism in the realization of the client's vision and plan. Additionally, we take great pride in always seeking mechanisms and means through which projects can be more sustainable on our economy and environment. CGA engineering staff also creates, review, and update the codes, standards and ordinances for a number of municipalities.

CIVIL ENGINEERING

CGA has provided civil engineering services for many municipal sites including city halls, public works compounds, community centers, city garages, and other city structures. This includes the design of paving, grading & drainage, water & sewer, pavement marking & signage, stormwater pollution prevention plans, and offsite roadway improvements among others. We have brought these designs from the preliminary stages through the permitting, construction, and certification process for a number of governmental clients.

CGA has also performed engineering services for a number of parks throughout South Florida. This has involved the design of drainage and under-drain systems, grading of sports fields, parking lot/pedestrian/sports field lighting, the design of parking lots, the extension of utilities to new or renovated structures, and the overall storm water management system design and permitting.



Shelley Eichner, AICP

Senior Vice President

SUMMARY OF QUALIFICATIONS

Ms. Eichner is a Senior Vice President and a Partner of Calvin, Giordano & Associates and oversees all private sector and public sector planning activities. She has over 30 years of diversified planning and platting experience in securing land development approvals, land use plan amendments and local government planning.

Ms. Eichner previously served as Senior Planner for Broward County's Department of Planning and Environmental Protection. She managed and supervised plat applications, created a permit monitoring system, and monitored compliance with all aspects of development approvals. Duties included coordinating the development review agencies in the preparation and adoption of the ordinances amending the Weston Development of Regional Impact.

PROJECT EXPERIENCE

Growth Management Director and Provision of General Planning Services: City of West Park, City of Weston, Town of Surfside, Town of Loxahatchee Groves. Responsible for all planning activities, including plat and site plan review as well as the creation and modification of land development regulations; establishment of zoning, landscaping, sign codes; and, preparation of a master park plan. Oversaw communication and coordination between city management, elected officials, major developers, and residents.

Site Plan Review: Supervised preparation and presentation of site plan reviews and reports under an ongoing cost recovery process. Plans from the cities are distributed to various plan review disciplines and the final reports are presented in a cohesive and consistent manner.

Comprehensive Planning: Supervised preparation of comprehensive plans, evaluation and appraisal reports, EAR-based amendments, water supply plan goals, and capital improvements element updates for various local governments.

Zoning Codes: City Weston, City of West Park, City of Sunny Isles Beach, Town of Surfside. Responsible for preparation, presentation and adoption of zoning codes. Direction required the coordination of workshops and consensus building among the elected officials, residents and developers in the city.

Transit Oriented Development: Sheridan Station-side Village, Hollywood, Florida. Coordinated all planning and engineering services for the site plan application and land use plan amendment for the Sheridan Station-side Village, a mixed-use development integrating an existing Tri-rail station and other transit services.

Town Center Zoning Overlay Districts: City of Hollywood, City of Miami Gardens, City of Sunny Isles Beach. Responsible for development of zoning overlay district comprising zoning criteria, architectural, and landscape requirements leading to town center master plan implementation and for special districts.

Ongoing Private Development Coordination: Responsible for coordinating all aspects of land development activities including platting and site planning, rezoning, and obtaining all government approvals and building permits. Specific tasks involve ensuring that engineering, survey, landscape architecture, and construction management personnel are working together to bring a project to completion.

EDUCATION

M.P.A., Florida Atlantic University, Boca Raton, FL

B.A., Psychology and Management, McGill University, Montreal, Canada

PROFESSIONAL REGISTRATION

American Institute of Certified Planners
No. 116948

PROFESSIONAL ASSOCIATIONS

American Planning Association -
Past President of Broward Chapter

PROFESSIONAL MEMBERSHIPS

Broward County Management Efficiency and Study Committee, Member (Appointed by County Commission); Chair of Growth Management Subcommittee, 2004-2006, & 2009-2011

Technical Advisory Group to the Broward County League of Cities, Chair, 2003-2006

Chair Staff Working Group, School Board of Broward County, 2005-Present
Broward County Oversight Committee, 2009 - Present

Broward County League of Cities Scholarship Committee, Chair, 2010 - Present



Chris Giordano, MSC

Director of Management Services

SUMMARY OF QUALIFICATIONS

Chris Giordano has nine years of construction management experience. After graduating from the University of Central Florida with a Bachelor of Science in Electrical Engineering Technology, he pursued a career in the construction management industry. Chris held the positions of Project Administrator, Project Manager, Contracts Manager, and finally Project Controls Manager for the Orion Marine Group before deciding being appointed Project Administrator at Calvin, Giordano & Associates, Inc.

Chris has managed hundreds of millions of dollars in construction. The clients for these projects ranged from federal, state, local and private clients. Chris gained construction experience throughout the southeastern United States as well as in the Caribbean.

PROJECT EXPERIENCE

Director of Management Services – Governmental Services. Calvin, Giordano, & Associates, Inc., Fort Lauderdale, FL.

- Coordinates and Assist in the Management of all Government Contracts
- Manages the Production of Bid Documents, Responses to RFIs, and Bidding Process
- Recommend Award of Contracts to City Commission
- Manage the Contractor's Submittals, Payment Applications, Claims, Change Orders
- Ensure Contractors are Maintaining Current Schedule and Budget Goals.
- Manage and Direct all Required Subconsultants and Inspectors as Needed

Capital Improvement Projects Managed:

- Town of Surfside Utility Rehabilitation Project
- Town of Surfside Community and Aquatic Center Construction
- Town of Surfside Comprehensive Traffic Study and Analysis
- Town of Surfside Seawall Inspection, Design and Reconstruction
- Sunny Isles Beach Newport Fishing Pier Project Administration and Permitting
- Sunny Isles Beach North Bay Road Bridge Project Administration and Permitting
- Port Sutton Manatee Observation
- Jupiter Maintenance Dredging Manatee Observation
- Tampa MATOC Dredging Manatee Observation

PROJECT CONTROLS MANAGER & CHIEF ESTIMATOR

Orion Dredging Services, LLC, Jacksonville, FL. (2008 – 2009)

- Create and Present all PSR & PCSR Reports for Division, Primavera Progress Schedules, Cost and Revenue Forecasts, and Direct Cost and Schedule Support to Project Managers.
- Perform all Bid Estimates for Federal, State, Local, Private and International Projects.
- Forecast Every Project on a Monthly Basis and Present Findings in Monthly PCSR Meetings.
- Managed Multiple Public Works Contracts Concurrent with PCM & Estimating Duties.

Marine Construction Projects Managed:

- Pier Construction and Cruise Ship Berth Dredging-Waterside Improvements, Labadee, Haiti.
- USACE Blount Island Emergency Dredging for Navy Ship Traffic and Mooring – Jacksonville, FL

EDUCATION

BSEET, Electrical Engineering Technology, Concentration on Computer Systems. University of Central Florida, 2005

PROFESSIONAL REGISTRATION

Florida Marine Specialty Contractor (Active License) No. SCC131151012

OSHA 10-Hour Safety Certified



Chris Giordano, Page 2

- TPA FY 08 Maintenance Dredging for Commercial Ship Traffic and Mooring – Tampa, FL
- Port Everglades Maintenance Dredging for Commercial Ship Traffic and Mooring – Fort Lauderdale, FL

Contract Manager; Subaqueous Services, Inc., Orlando, FL. (2004 – 2008)

- Managed Office Staff of 10 Employees.
- Maintained all Correspondence with Owners/Engineers.
- Managed \$44 million In Annual Contract Backlog.
- Created and Attended all Presentations for Governments, Citizens, Conferences and Private Firms.
- Created Project Tracking Databases.

Marine Construction Projects Managed:

- Volusia County Emergency Beach Nourishment – Dune Restoration.
- Miami Dade County BEAR 1 (Beach Erosion and Re-nourishment)
- Tampa Port Authority Hookers Point Expansion.
- Jaxport Dames Point Expansion – Project One.
- SFWMD Lake Trafford Restoration – Phase II.
- FIND MSA 434/434C DMMA Construction.
- Island Pointe Marina Dredging.
- Bayou Grande Villas Maintenance Dredging.
- Port Everglades Maintenance Dredging.
- Panama City Marina and Homeowner Canal Dredging.
- Peace River Hurricane Debris Cleanup.
- FP&L Hurricane Debris Cleanup.
- Hendry County Oxbow Dredging.
- SFWMD S-65A Rock Rip Rap Bank Restoration.

Engineering Inspector Intern, GLC Construction, Hallandale, FL. (1999 – 2001)

- Air Tested Concrete.
- Slump Tested Concrete.
- Inspected Pollution Retard Baffles.
- Inspected Mud Work on Drainage Structures.



Curt A. Keyser, PE

Director of Engineering

SUMMARY OF QUALIFICATIONS

Mr. Keyser has more than 20 years of leadership, management, and engineering experience, including full P&L responsibility. He has an extensive project management background that includes 350+ storage tank compliance programs, 200+ corporate image re-branding initiatives, and multiple ADA compliance upgrade design projects for such companies as BP, Shell, Texaco, Hess, and others.

- Operations Leadership – Possesses solid experience and proven success in managing complex operations, cross-functional teams, and million-dollar budgets. Equally effective as a leader and key contributor. Applies a hands-on, participatory approach to team management that celebrates employee success and provides ongoing feedback for improvement.
- Strategic Planning and Execution – Maintains effective balance between big picture, strategic thinking and a focus on the details necessary for program execution. Success in achieving buy-in from upper management for key strategies.
- Organizational Change Management – Frequently serves as a key catalyst for change and manager of game-changing initiatives, including mergers/ acquisitions, market downturns, and turnarounds for under-performing operations.

PROJECT EXPERIENCE

ROADWAY AND DRAINAGE DESIGN

Pines Boulevard Bus Stop, Pembroke Pines, FL. Project Manager and lead designer for Broward County Mass Transit Authority bus stop bay on north side of Pines Boulevard West of University Drive in connection with the redevelopment of the Mobil gas station on the northwest corner of that intersection. Responsibilities included preparation of work scope, contract documents, and plans; securing of permits from FDOT, Broward County Traffic Engineering Division, and Broward County Mass Transit Authority; coordination with contractor; and construction inspections and certifications.

Pines Mobil Turn Lane, Pembroke Pines, FL. Project Manager and lead designer for increased storage and taper at left-turn lane from northbound University Drive to westbound Pines Boulevard in connection with the redevelopment of the Mobil gas station on the northwest corner of the intersection. Responsibilities included preparation of work scope, contract documents, and plans; securing of permits from FDOT and Broward County Traffic Engineering Division; coordination with contractor; and construction inspections and certifications.

NPDES Municipal Separate Stormwater System (MS4) 2013 Annual Report, City of Weston, FL. Project Manager for the preparation of the City's annual report. Coordinated with City's Director of Public Works to collect and assemble required data and to complete and submit report in compliance with FDEP requirements.

Five-Year Drainage Recertification, Multiple Sites, Broward County, FL. Project Manager and Engineer-of-Record for Recertification of private stormwater management systems as required by Broward County Surface Water Management Division, South Broward Drainage District, and Central Broward Water Control District.

OFFICE

Fort Lauderdale

EDUCATION

Bachelor of Science in Mechanical Engineering
Virginia Polytechnic Institute & State University, 1990

CERTIFICATIONS & LICENSES

Professional Engineering Licenses, Florida (#51407) and Pennsylvania (#PE053306E)

Certified Building Contractor License, Florida (#CBC1250810)

Certified Pollutant Storage Systems Specialty Contractor License, Florida (#PCC56807)

Certified Underground Utilities and Excavation Contractor License, Florida (#CUC1223786)

Certified Plumbing Contractor License, Florida (#CFC1425870)

Certified Mechanical Contractor License, Florida (#CMC1249334)

PROFESSIONAL AFFILIATIONS

Member: American Society of Civil Engineers, Florida Engineering Society, and National Society of Professional Engineers

Member: Cooper City's Planning and Zoning Advisory Board, 2000 – 2004; Served as Board Chairman, 2003 – 2004



Curt A. Keyser, Page 2

UTILITIES INSTALLATION

Eagle Transport Lift Station and Force Main Installation, Port Everglades, FL. CGA Project Manager for abandonment of septic system and installation of new lift station with 2" diameter HDPE force main connected to existing 8" sanitary force main. Responsibilities included preparation of work scope, contract documents, and plans detailing mechanical, electrical, and site work design; securing of permits from Utilities Department, Health Department, and Building Department; coordination with sub-consultants and contractor; construction inspections and certifications; and final project delivery and close-out.

Gravity Sewer Main Extension, Miami Gardens, FL. Project Manager and Engineer-of-Record for abandonment of septic system and installation of new oil/water separator, 130 linear feet of 6" diameter sanitary lateral, and 425 linear feet of 8" diameter gravity sanitary main connected to existing sanitary manhole. Project included open-cutting and maintenance of traffic for busy six-lane thoroughfare. Responsibilities included preparation of work scope, contract documents, and plans and details; securing of permits from Utilities Department, Health Department, Building Department, DERM, MDWASD, and FDOT; coordination with sub-consultants and contractor; construction inspections and certifications; and final project delivery and close-out.

Hess Lift Station and Force Main Installation, Hollywood, FL. Project Manager and Engineer-of-Record for abandonment of septic system and installation of new lift station with 2" diameter HDPE force main connected to existing 8" sanitary force main. Responsibilities included preparation of work scope, contract documents, and plans detailing mechanical, electrical, and site work design; securing of permits from Utilities Department, Health Department, and Building Department; coordination with sub-consultants and contractor; construction inspections and certifications; and final project delivery and close-out.

Advance Auto Parts Lift Station and Force Main Installation, Hollywood, FL Project Manager and Engineer-of-Record for installation of new lift station with 2" diameter x 1500 linear feet of HDPE force main connected to existing 8" sanitary force main. Responsibilities included preparation of work scope, contract documents, and plans detailing mechanical, electrical, and site work design; securing of permits from Utilities Department, Health Department, and Building Department; coordination with subconsultants and contractor; construction inspections and certifications; and final project delivery and close-out.

Shell Oil Lift Station and Force Main Installation, Plantation, FL. Project Manager for abandonment of septic system and installation of new lift station with 2" diameter x 1200 linear feet of HDPE force main connected to existing 8" sanitary force main. Responsibilities included preparation of work scope, contract documents, and plans detailing mechanical, electrical, and site work design; securing of permits from Utilities Department, Health Department, and Building Department; coordination with sub-consultants and contractor; construction inspections and certifications; and final project delivery and close-out.

Hess Septic System, Dania Beach, FL. Project Manager and Engineer-of-Record for abandonment of existing septic system and installation of new septic system with dosing tank and drain field. Responsibilities included preparation of work scope, contract documents, and plans; securing of permits from Utilities Department, Health Department, and Building Department; coordination with contractor; and construction inspections and certifications.

City of Weston Force Main Interconnects, Weston, FL. CGA Project Manager for design of force main interconnects to reduce back pressure and increase peak flow capacities.



Patrick A. Figurella, PE
Director, Engineering /Project Manager

SUMMARY OF QUALIFICATIONS

Mr. Figurella is a project engineer with 16 years of experience in project management of roadway design/reconstruction, utility/drainage infrastructure and civil site design work including design and permitting. Mr. Figurella is very proficient in the use of the latest versions of AutoCAD Civil 3D.

PROJECT EXPERIENCE

Comprehensive Planning

Prepared Comprehensive Plan Amendments related to Potable Water, Sanitary Sewer, Drainage, Solid Waste, and Natural Groundwater Aquifer Recharge as follows:

- Town of Loxahatchee Groves First Comprehensive Plan
- Town of Malabar EAR-based Amendments
- City of Pahokee EAR-based Amendments and 10-Year Water Supply Plan
- City of Parkland EAR-based Amendments and 10-Year Water Supply Plan
- City of Fort Pierce Comprehensive Plan Rewrite
- St. Lucie County EAR-Based Comprehensive Plan Amendments
- Martin County EAR

Utility/Civil Site Experience

Carlin Park Western Area Special Events Facility, Jupiter, Florida. Assisted in the design and construction observation of an outdoor amphitheater with new restroom facilities, parking area, electrical and water connections.

South County Regional Park Aquatic Facility, Palm Beach County, Florida. Civil design and construction observation for the development of the aquatic complex.

Glades Regional Park, Palm Beach County, Florida. Civil design for new park improvements consisting of parking lots and general purpose fields.

Lyons Road Utility Extension, Palm Beach County, Florida. Designed & permitted the extension of 9,200 LF of water main and force mains in western Palm Beach County including aerial and underground crossing of several canals.

Lantana Road Utility Extension, Palm Beach County, Florida. Designed & permitted the extension of 4,800 LF of water mains and force mains in western Palm Beach County. Responsibilities included construction observation and certifications.

Palm Beach County Sheriff's Office Law Enforcement Training Facility, Palm Beach County, Florida. Assisted in the design of the training facility, including the backstop berms for the 30 and 100 meter rifle ranges, the bomb demolition area and the septic system.

Palms West Hospital Campus, Royal Palm Beach, Florida. Designed or assisted in the design of and construction observations for the civil elements of 3 medical office buildings, a municipal lift station, 8,000 LF of force main, and to intersection improvements with S.R. 80.

EDUCATION

B.S., Mechanical Engineering
University of Florida,
Gainesville

PROFESSIONAL REGISTRATION

Professional Engineer State of Florida No. 54795

PROFESSIONAL AFFILIATIONS

American Society of Civil Engineers: 2004-2005
Past-President for Palm Beach Branch

Florida Engineering Society: 2002-2003
"Young Engineer of the Year" for Palm Beach Chapter

PUBLIC SERVICE

Village of Royal Palm Beach Code Enforcement Board 1998-2004

Palm Beach County 5-Year Road Program Oversight & Advisory Council 2002-2003



Gregory J. Clements, PSM

Director, Surveying & Mapping

SUMMARY OF QUALIFICATIONS

Mr. Clements has 45 years of experience as a surveyor and mapper. He is expert in all phases of land surveying including the retracement of section lines, lot lines, tract lines, right-of-way (ROW) lines, and centerlines. Mr. Clements' responsibilities include preparation of proposals, budget control, quality control (QA/QC), and technical support for the field crews. He also coordinates the preparation of legal descriptions, record plats, ROW maps, boundary surveys, topographical surveys, and acts as the liaison between the client and the firm.

PROJECT EXPERIENCE

SR 953/LeJeune Road, Miami, Florida. Mapping supervisor for survey design file and Project Network Control Sheet for LeJeune Road from US 1 to NW 11th Street, approximately 4 miles.

SR 973/Galloway Road, Miami, Florida. Mapping supervisor for survey design file and Project Network Control Sheet for Galloway Road from SW 40th Street to SW 5th Street, approximately 2 miles.

Riviera Isles, Miramar, Florida. Prepared boundary surveys and record plats for four phases of development for 2000-lot development.

City of Tamarac, Florida. Prepared multiple boundary surveys of parcels of land being acquired by the City for a new park and cell tower site.

Town of Davie, Florida. Prepared boundary, topographic and tree surveys on proposed 10-acre water treatment site. Additionally prepared and recorded a plat and wrote multiple sketch and descriptions for utilities for the same site.

City of Pahokee, Florida. Prepared sketch and legal description of new Community Redevelopment Area (CRA). Involved research into the old records used to establish the City.

Various Substation Surveys, Miami-Dade, Broward, Palm Beach Counties, Florida. Prepared boundary, tree, and topographic surveys on substations ranging in size from two to more than 40 acres.

Gulfstream Park, Hallandale Beach, Florida. Prepared plat boundary and topographic surveys of 260-acre horse track/entertainment complex. Combined aerial mapping techniques with conventional survey methods to produce a high quality drawing under budget.

City of Lauderdale GIS Drainage Infrastructure Inventory, Lauderdale, Florida. Responsible for creating data dictionary fields and uploading to Trimble pathfinder. Data downloading and processing of GPS files using Trimble GPS Pathfinder Office and outputting into ESRI shape files and attribute data files.

City of Weston, Florida. Since 1997 responsible for multiple route surveys throughout the City. Surveys were used by engineers to design major roadway and utility improvements.

YEARS OF EXPERIENCE

45

EDUCATION

Bachelor of Business Administration
University of Toledo

Geographic Information Systems I & II, offered under the M.S. in Geography Program, Florida Atlantic University

PROFESSIONAL REGISTRATION

Registered Professional Surveyor/Mapper
State of Florida, No. 4479

Registered Professional Surveyor, State of Ohio, No. 6545

Registered Professional Land Surveyor
State of Texas, No. 4197



Steven M. Watts, PSM

Director of Survey

SUMMARY OF QUALIFICATIONS

Mr. Watts has 26 years of experience as a surveyor and mapper. Having spent his entire surveying career working in Broward County, he is extremely knowledgeable of the rules, requirements and specifications for completing surveying and mapping projects in the South Florida area. He specializes in architectural and engineering design type surveys, land acquisition, easements, title research, and computer mapping.

PROJECT EXPERIENCE

Director of Survey – Calvin, Giordano, & Associates, Inc., Fort Lauderdale, FL. As Director of Survey he is responsible and involved in all aspects of the company's surveying and mapping projects.

General Surveying & Mapping Services – City of Pompano Beach. Boundary & Topographic Surveys: Community Park, Canal Point Park; Legal Descriptions: Avondale Fishing Piers; Topographic Surveys: Pompano Beach Air Park; Taxiway "N" – Pavement Widening, Runway 15- Runway Protection Zone, Magnetic Heading, Runways 6-24, 15-33 and 10-28.

General Surveying & Mapping Services – City of North Lauderdale. Boundary and Topographic Surveys, As-Built Surveys, Legal Descriptions, City Limit Determinations and General Surveying Services for the City of North Lauderdale. Additional responsibilities include project surveyor for the topographic survey of the municipal complex, GIS, water control district and utility mapping, Hampton Pines Park and Silver Lakes Middle School ball field renovation.

General Surveying & Mapping Services – City of Coral Springs. Boundary and Topographic Surveys, As-Built Surveys, Legal Descriptions, Design Surveys, Construction Stakeout, and General Surveying Services for the City of Coral Springs.

General Surveying & Mapping Services – City of Coconut Creek. Boundary, Topographic and Design Survey for Facilities Maintenance Area and Copans Road for the City of Coconut Creek.

GIS Base Mapping- Broward County Property Appraiser's Office. Property Appraiser's GIS-Base Mapping Projects. Work completed to date includes City of Pompano Beach, City of Fort Lauderdale, City of Margate, City of Miramar, and City of Dania. Projects involved precise coordinate geometry mapping and conversion to Arc-Info polygon coverage.

LIS System - City of Miramar. Project Manager for the Land Information System (LIS) completed for the City of Miramar. This project encompasses approximately 20,000 acres of land within the city limits. Coordinate geometry was used to prepare geometrically precise base maps tied to the Florida State Plane Coordinate System. The work was done in an AutoCAD environment to facilitate future GIS applications. The LIS contains information on rights-of-way, plats, blocks, lots, ownership, tax folio numbers and property appraiser information.

GIS System - City of Miramar. Project Manager for the development of a geographic information system (GIS) necessary to implement a special assessment for the new water treatment plant. Tax assessor information was digitally downloaded for over 600 parcels and compiled into an Oracle data base. Data base records were gee-referenced to AutoCAD polygon information and compiled into a GIS application.

EDUCATION

BSLS, Purdue University,
1984

Lambda Sigma: Land
Surveying Honorary

PROFESSIONAL REGISTRATION

Florida PSM No. 4588



Steve M. Watts, PSM, Page 2

Base Map - City of Port St. Lucie. Project Manager for the development of a computerized base map of 80 square miles comprising the City of Port St. Lucie. The first phase entailed establishing horizontal control utilizing GPS and setting vertical control benchmarks throughout the city. Detailed topographic information was gathered for all the public roads (800 miles) via electronic data recorders and overlaid on a geometrically precise map of the platted subdivisions. Raster images of aerial photography were scanned thus providing a photographic overlay for the digital map.

Relocation and Land Acquisition Assistance Program - Base Mapping - Broward County Aviation Department. Project Manager for the relocation and land acquisition project for the Fort Lauderdale-Hollywood International Airport. Directly involved in all aspects of the project including deed and right-of-way analysis for 12 square miles of property and approximately 2,800 parcels. The data base of utilities, runways, rights-of-way, plats, sectional and ownership information serves as the base map for the GIS system.

Property Map - Fort Lauderdale-Hollywood International Airport - Broward County Aviation Department. Project surveyor responsible for the maintenance of the Airport Property Map. Responsibilities include the mapping of new parcels, reviewing ownership and easement documentation and working closely with Aviation Department's legal staff on deed interpretation.

Surveying and Mapping Services, Pompano Beach Air Park, Runway 15-33. Served as project surveyor for engineering design survey of Runway 15-33 Rehabilitation and Extension. Involved in all aspects of project survey, including project management, field work, engineering coordination, cad drafting and final product deliverables.

Surveying and Mapping Services, Pompano Beach Air Park, Taxiway Kilo. Served as project surveyor for engineering design survey of the relocation of Taxiway Kilo. Involved in all aspects of project survey, including project management, field work, engineering coordination, cad drafting and final product deliverables.

Surveying and Mapping Services, Pompano Beach Air Park, General Surveying Services. Served as project surveyor for general survey\engineering projects at Pompano Beach Air Park including 1) establishing magnetic compass headings for Runway 6-24, Runway 15-33 and Runway 10-28; 2) pavement widening for Taxiway November; 3) Runway Protection Zone Survey, Runway 15; 4) boundary survey of Air Park environs.

General Surveying and Mapping Services, City of North Lauderdale, Florida. Performed boundary and topographic surveys, as-built surveys, legal descriptions, City limit determinations, and general surveying services for the City of North Lauderdale. Additional responsibilities included project surveyor for the topographic survey of the municipal complex, GIS, water control district and utility mapping, Hampton Pines Park and Silver Lakes Middle School ball field renovation.

Relocation and Land Acquisition Assistance Program, Base Mapping, Broward County Aviation Department. Served as project manager for the relocation and land acquisition project for the Fort Lauderdale-Hollywood International Airport. Directly involved in all aspects of the project including deed and right-of-way analysis for 12 square miles of property and approximately 2,800 parcels. The data base of utilities, runways, rights-of-way, plats, sectional and ownership information serves as the base map for the GIS system.

Property Map, Fort Lauderdale-Hollywood International Airport, Broward County Aviation Department. Served as project surveyor responsible for the maintenance of the Airport Property Map. Responsibilities include the mapping of new parcels, reviewing ownership and easement documentation and working closely with Aviation Department's legal staff on deed interpretation.

GIS Base Mapping, Broward County Property Appraiser's Office, Property Appraiser's GIS-Base Mapping Projects. Work completed to date includes City of Pompano Beach, City of Fort Lauderdale, City of Margate, City of Miramar, and City of Dania. Projects involved precise coordinate geometry mapping and conversion to Arc-Info polygon coverage.



Tammy Cook-Weedon, RLA, ASLA, LEED AP BD+C

Associate, Director of Landscape Architecture

SUMMARY OF QUALIFICATIONS

Ms. Cook-Weedon leads the Landscape Architectural staff, has 26 years of landscape architectural experience with demonstrated strengths in creative design, graphic presentations, and planting design. She has successfully completed numerous large-scale projects, which encompassed design studies, planting designs, and the various interrelated professions and tasks necessary to manage the projects through to completion. She has managed a staff of ten professionals for over 17 years at CGA and provides close supervision for project budgets and diligently monitors the quality control for the department.

PROJECT EXPERIENCE

The Preserve, Margate, FL

Landscape Architect/Project Manager

CLIENT: Standard Pacific Homes

The site design and community master plan included residential components, open space design, planting and irrigation design, general civil engineering, lighting design and environmental mitigation services. Designed components including the recreational area, pool design, entry sign features, wayfinding elements and recreational trails. The project focused on establishing a community sensitive to, and centered on, a cypress preserve.

Meadow Pines, Pembroke Pines, FL

Landscape Architect/Project Manager

CLIENT: Carr Residential Inc.

The site design and community master plan included residential components, open space design, planting and irrigation design, general civil engineering, lighting design and environmental mitigation services. Designed components including the recreational area and pool design, entry sign features, wayfinding elements and recreational trails.

Villas at Harbor Isles, Dania Beach, FL

Landscape Architect

CLIENT: Carr Residential Inc.

Developed site design and community master plan including residential components, open space design, the recreational facility and pool complex, planting and irrigation design, general civil engineering, lighting design and environmental mitigation services. The project emphasized transit oriented connections and added densities appropriate to its location adjacent to the Fort Lauderdale/Hollywood International Airport TriRAIL station at Dania Beach.

Cobblestone, Pembroke Pines, FL

Landscape Architect

CLIENT: Standard Pacific Homes

The site design and community master plan included residential components, open space design, planting and irrigation design, general civil engineering, lighting design and environmental mitigation services. Designed components included the recreational area and pool design, entry sign features, wayfinding elements, design guidelines and recreational trails.

YEARS OF EXPERIENCE
26

EDUCATION

B.S. Landscape Architecture,
Texas A&M University,
College Station, 1987

PROFESSIONAL REGISTRATION

Registered Professional Landscape Architect,
State of Florida
No. 0001328

PROFESSIONAL ASSOCIATIONS

American Society of Landscape Architects,
Miami Section Chair,
1997-1998

Broward Section Chair,
2003-2004

State Conference Sponsorship Chair,
2003

ASLA Executive Committee, 2004-2007

Magic of Landscapes Board Member, 2006-2010



Tammy Cook-Weedon, RLA, ASLA, LEED AP, Page 2

Cimarron, Davie, FL

Landscape Architect

CLIENT: Standard Pacific Homes

The site design and community master plan included residential components, open space design, planting and irrigation design, general civil engineering, lighting design and environmental mitigation services. Designed components included the recreational area and pool design, entry sign features, wayfinding elements, design guidelines and recreational trails.

Waterview, Miramar, FL

Landscape Architect

CLIENT: Carr Residential Inc.

The site design and community master plan Included residential components, open space design, planting and irrigation design, general civil engineering, lighting design and environmental mitigation services. Designed components included the recreational area and pool design, entry sign features and wayfinding elements. The project emphasized use of affordable single-family homes to create a sense of community.

Montclair, Miramar, FL

Landscape Architect

CLIENT: Carr Residential Inc.

The site design and community master plan included residential components, open space design, planting and irrigation design, general civil engineering, lighting design and environmental mitigation services. Designed components included the recreational area and pool design, entry sign features, wayfinding elements and recreational trails design.

Alexan, Miramar, FL

Landscape Architect

CLIENT: Trammell Crow

The site design and community master plan included residential components, open space design, planting and irrigation design, general civil engineering, lighting design and environmental mitigation services. Designed components included the recreational area and pool design, entry sign features, wayfinding elements, design guidelines and recreational trails.

Canterbury, Boynton Beach

Landscape Architect

CLIENT: Standard Pacific Homes

The site design and community master plan included residential components, open space design, planting and irrigation design, general civil engineering, lighting design and environmental mitigation services. Designed components included the recreational area and pool design, entry sign features and wayfinding elements. Of special interest is the project design's intent to tie and connect to a neighboring lifestyle center and the Boynton Beach TriRAIL Station.

Shops at Pembroke Gardens, Pembroke Pines, FL

Landscape Architect

CLIENT: AD Pembroke LLC

Created site, landscape and engineering design for a lifestyle center focused on enhancing pedestrians' experiences through ample sidewalks, furnishings, plazas and water features.

Hollywood Arts Park Condominium, Hollywood, FL

Landscape Architect/Project Manager

CLIENT: WSG

Landscape design of pool deck and condo amenity areas, including sidewalk urban planting schemes and paving designs.



Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS

Michael Conner, RLA, ASLA *Senior Landscape Architect*

SUMMARY OF QUALIFICATIONS

Mr. Conner has over 25 years of experience in the municipal, commercial, and private sector work. As a Certified Arborist, he is also knowledgeable in all aspects of urban and community forestry planning and tree inventory/appraisal. His expertise lies in site planning, hardscape and landscape design for residential communities, commercial developments, roadways and institutional projects. He also has successful experience in park and recreation planning, wetland mitigation, contract administration, site inspections, and grant writing.

PROJECT EXPERIENCE

Library Park, Weston, FL

Project Manager, Lead Designer

Client: City of Weston: Design of a five-acre passive-use park with outdoor classroom facilities and a historical narrative trail adjacent to a public library, a middle school and a high school, including site design, planting and irrigation design, wayfinding, water features, security design, branding and restroom facilities.

Library Park, Weston, FL

Project Manager, Lead Designer

Client: City of Weston: Design of a 5-acre passive use park with outdoor classroom facilities and a historical narrative trail adjacent to a public library, a middle school and a high school. The scope included site design, planting and irrigation design, wayfinding, water features, security design, branding and restroom facilities.

Mary Saunders Park, West Park, FL

Project Manager, Lead Designer

Client: City of West Park: Prepared landscape and irrigations design for facility and parking expansions, upgraded landscape planting and buffers, upgraded park infrastructure.

Tequesta Trace Park, Weston, FL

Project Manager, Lead Designer

Client: City of Weston: Landscape park design for the upgrade of park facilities, new trails, expanded parking, and modification of park programming to include new entry signage and the replacement of the football fields with upgraded drainage systems.

Memorial Regional Hospital 35th Avenue Streetscape, Hollywood, FL

Project Manager, Design Team Member

Client: Memorial Healthcare System

Developed a streetscape design and wayfinding for a re-dedicated roadway segment to the hospital campus as part of its continual expansion. This project comprises the first of several projects aimed for LEED certification within the campus.

Saddle Club Road Roundabout, Weston, FL

Construction Landscape Architect

Client: City of Weston: Landscape design, traffic, electrical and civil engineering for a new roundabout, including the integration of landscape planting signage, branding, wayfinding, lighting, bicycle trails and pedestrian pathways.

EDUCATION

Bachelor
Landscape Architecture
Ball State University,
Indiana, 1985

B.S., Environmental
Design
Ball State University,
Indiana, 1985

Ball State Honors College
Sigma Lambda Alpha,
Landscape Architecture
Honor Society

PROFESSIONAL REGISTRATION

Landscape Architect,
Florida License
#LA0001181

ISA Certified Arborist
License #FL0777

PROFESSIONAL ASSOCIATIONS

American Society of
Landscape Architects
Chairperson 1990
Broward Section

Florida Urban Forestry
Council
President 1999

Landscape Inspectors
Society of Florida

International Society
of Arboriculture



Sarah Sinatra Gould, AICP

Manager, Planning Department

SUMMARY OF QUALIFICATIONS

Ms. Sinatra has several years of planning experience including municipal planning director duties such as processing zoning requests, land use plan amendments, site plan reviews, plats rezoning petitions, variances, vacation/abandonments and all other development application reviews. She holds a Master's degree in Urban and Regional Planning from FAU. Ms. Sinatra has also written evaluation and appraisal reports, comprehensive plans and zoning and land development codes. She is experienced in writing form-based codes and transit-oriented zoning codes. As the planning department manager for Calvin, Giordano & Associates, she is the community development director for the City of Weston, the City of West Park and the Town of Surfside. For those entities, she carries out day-to-day planning and zoning activities, presents staff reports and recommendations to the commissions, the planning and zoning boards and provides customer service assistance to residents, developers and business owners.

PROJECT EXPERIENCE

Comprehensive Planning

Town of Surfside EAR. Identified items of concern from the Town's 2006 Charrette, including transportation planning and traffic issues. The EAR also recognized challenges with density and intensity.

Town of Surfside EAR Based Amendments. Incorporated many issues from the Town's 2006 Charrette and provided an analysis on tourist/hotel uses.

City of West Park Comprehensive Plan. Prepared the City's first Comprehensive Plan.

City of Sunny Isles Beach EAR. The City's intense population growth resulted in the need for an evaluation of recreation and open space uses and traffic concerns.

Sheridan Stationside Land Use Plan Amendment. Completed an amendment to the City of Hollywood and the Broward County Land Use Plans to change the land use designation on 40 acres to Transit Oriented Development (TOD). This included residential, hotel units, commercial office at a rail station to create true transit development. There was also an affordable housing component.

City of West Park Transit Oriented Corridor Land Use Plan Amendment. Amended the City and County Land Use Plans to create a Transit Oriented Corridor (TOC) for the City of West Park. The designation provided 575,000 square feet of office space, 500,000 square feet of commercial area, 200 hotel rooms and 1,500 new residential units to a depressed portion of US 441/ SR7.

City of West Park 10 Year Water Supply Facilities Work Plan. Modified the goals, objectives and policies of the Future Land Use, Infrastructure, Capital Improvements and Intergovernmental Coordination Elements of the City's Comprehensive Plan to provide consistency with the 10 Year Water Supply Facilities Work Plan. Analyzed City of Hollywood's information since they are the water provider to the City of West Park.

Town of Surfside 20 Year Water Supply Facilities Work Plan. Modified the goals, objectives and policies of the Future Land Use, Infrastructure, Capital Improvements, Conservation and Intergovernmental Coordination Elements of the City's Comprehensive Plan to provide consistency with the 20 Year Water Supply Facilities Work Plan.

EDUCATION

B.A. in Political Science, Florida Atlantic University, 1997-2001

Masters in Urban and Regional Planning, Florida Atlantic University, 2001-2003

PROFESSIONAL CREDENTIALS

American Institute of Certified Planners No. 158802

American Planning Association

Florida Chapter of the American Planning Association

Appointed member of the Miami-Dade Shoreline Development Review Committee



Sarah Sinatra Gould, Page 2

Zoning and Land Development Codes

City of West Park Land Development and Zoning Code. Prepared the City's first Land Development and Zoning Code. These ordinances included new sign and landscape criteria to provide an identity for the newly incorporated City.

Town of Surfside Zoning Code. Created a modified form-based code for the Town. Facilitated many months of workshops to gain as much input as possible from the residents. The code resulted in "McMansion" standards to avoid over building in the single family neighborhood. This code also included new landscape regulations to provide more substantial buffers between uses.

Town of Surfside Design Guidelines. The design of buildings and their compatibility for the Town became issues of concern. A number of workshops were held to gain public participation in crafting design guidelines for the Town.

City of Hollywood. Created zoning guidelines and distance separation requirements for homeless shelters, free restaurants, half-way housing, and substance abuse clinics.

Town of Medley. Analyzed solid waste activities in the Town and prepared new zoning category to correct non-conformities.

Collier County Post Disaster Temporary Housing Study. Reviewed the County's Comprehensive Plan and Zoning Code to determine where housing could be located after a disaster as well as identifying sections of the code to be waived in post disaster conditions.

City of West Park Enterprise Zone. Prepared housing, population and income data as well as mapping data for inclusion into the Broward County Enterprise Zone. The State of Florida granted inclusion of the City in the Broward Enterprise Zone in 2010.

Municipal Planning Staff

City of West Park, Planning and Zoning Director. Oversee the day to day functions of the Planning and Zoning Department. Respond to zoning calls from property owners and interested parties. Created the development review process for the City and chair the development review group meetings. Review zoning permits and certificates of use. Complete development reviews including site plans, plats, variances, special exceptions, land use plan amendments and rezoning applications. Created the necessary applications for these development reviews and prepare all staff memorandums to the City Commission.

City of Weston, Director of Development Services. Process development review applications including site plans, plats, variances, special exceptions, land use plan amendments and rezoning as well as managing the Planning and Zoning Department. Prepare items for the Development Review Committee (DRC) and the City Commission by chairing the DRC meeting, preparing the staff memorandum to the City Commission and presenting the application to the City Commission.

Town of Surfside, Town Planner. Respond to zoning calls from the public. Created the development review process for the Town and chair the development review group meetings. Review zoning permits and prepare items for the Design Review Board Meeting. Present site plans and permits to the Design Review Board, which analyze architectural and design standards in completing the review. Complete development reviews including site plans, plats, variances, special exceptions, land use plan amendments and rezoning applications. Prepare all staff memorandums and present the items to the Planning and Zoning Board and the Town Commission.

City of Pahokee, Consulting Planner. Provide zoning assistance to the City and to the general public. Review development applications including site plans, plats, variances, conditions uses, and rezoning applications. Prepare staff memorandums and present the items to the Planning and Zoning Board and the City Commission.



Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS

James Messick, PE

Project Engineer

SUMMARY OF QUALIFICATIONS

Experience includes: General Site Development, SFWMD Environmental Resource Permitting; Design of Septic/Lift Stations, Large Scale Stormwater Management Systems, FOOT/County Roadway, and Utility Permitting; Construction Cost Estimates and Feasibility Studies; Water Management, Development Orders, and applicable Department of Health and Florida Department of Environmental Protection Agency perm its.

PROJECT EXPERIENCE

Site Design Projects:

City Center Parking Lot, Pembroke Pines, FL: Lead designer for parking lot to serve future City Center development in the City of Pembroke Pines, Florida. Parking lot modifications included driveway connectivity and roadway relocation to provide ease of access and reduce impacts from existing FPL transmission lines and associated power poles throughout previously permitted design. Project includes modifying drive aisles locations, parking lot reconfiguration, ADA accessibility, pavement marking and signage, and drainage modifications to previously permitting project.

Memorial Hospital South Solarium, Hollywood, FL: Project Engineer for the construction of a solarium addition to the existing Memorial Hospital South facility located in Hollywood. Design of the solarium included an ADA accessible entrance, drainage modifications, parking lot reconfiguration, along with pavement marking and signage improvements for the existing facility. This project is currently being permitted with an estimated commencement of construction of summer 2014.

Water and Sewer Projects:

Dania Jai Alai, Dania Beach, FL: Mr. Messick is the project engineer for the design and coordination of the proposed water and sewer improvements for this multi-phased project located in Dania Beach, Florida. The scope of work includes modeling of water and sewer utilities, and design for both on-site water and gravity sewer mains, and off-site lift station and sanitary sewer force main with a connection to the City of Dania Beach owned lift station #6. Pressure test data collection was conducted to assist in Lift Station design, and project is slated to begin permitting following the final phase determination.

Roadway Projects:

Weston Sidewalk and Bus Stop Improvements, Weston, FL: As project engineer, Mr. Messick was in charge of initial design for this project in the Weston, Florida. Project consists of roadway improvements including the construction of concrete sidewalk and multiple bus stops along Broward County owned and maintained roadway Weston Road. Improvements include drainage modifications, ADA compliant bus stops and sidewalk, and pavement marking and signage consistent with existing roadway facilities are incorporated into this project.

Project Manager; Keith and Associates, Inc. (Aug. 2012 through Jan. 2014) - Project management and lead professional for various commercial, institutional, residential and municipality projects in south Florida with particular interest in Broward, Miami-Dade and Palm Beach Counties. Responsibilities include Site Plan coordination, Design Development, Final Engineering Plans, State/County Permitting, Construction Observation, and primary contact for coordination with clients and contractors, construction inspections, and active participant in various Design Professional Liaison and Land Development/Water Resources Code meetings.

EDUCATION

B.S., Civil Engineering,
University of Dayton, 2005

REGISTRATIONS

State of Florida,
Professional Engineer,
#70870

Qualified Stormwater Mgmt
Inspector, #13907



James Messick, PE, Page 2

Project Manager; TDM Consulting, Inc. - Fort Myers, FL (July 2006 through February 2012) - Design and permitting of commercial, residential and industrial projects in southwest Florida with a concentration in Lee County municipalities. Responsibilities include site planning, engineering design, primary contact for coordination with clients and contractors, construction inspections, and active participant in various Design Professional Liaison meetings.

Project Manager; Neese & Associates-Civil Engineering and Land Surveying-Ft Myers, Florida (May 2005 through July 2006)-Design of commercial and residential projects in City of Fort Myers and Cape Coral, and Lee County, Florida. Responsibilities included permitting, engineering design, and coordination with clients and contractors.

Assistant Engineer (Four Semester Terms Co-op); Montgomery County Engineer's Office-Dayton, Ohio (May 2001 through August 2004)-Assisted County Professional Engineers with major public projects including: Phases II & IIIA/B of North Dixie Drive Improvements (CR 99) Roadway Design and land acquisition meetings, assistant plan reviewer and inspector for Siebenthaler Bridge DAY-SEIBN-19 (300' concrete arch bridge), and various small county projects including bridge inspector, taking Montgomery county inventory and traffic counts.



Hoyt Holden, AICP *Project Manager*

SUMMARY OF QUALIFICATIONS

Mr. Holden has 27 years of management experience with land use plan amendments, reanalysis, platting, rezoning, site planning, Developments of Regional Impacts, Binding Letters of Interpretation, right-of-way vacations, concurrency reviews, delegation requests, special assessments and due diligence activities. He has acquired state and district grants for park improvements, coastal construction control line permitting, dune preservation/restoration, wetland mitigation, dredging, boating facilities, landscaping, and sea turtle protection. He manages planning activities from inception through final approval/recordation. This experience has given him an extensive understanding of local community, county agency, and special district regulations and explains his great rapport with municipal and government agencies throughout South Florida, as well as with the Florida Department of Environmental Protection, the South Florida Water Management District, and many special districts such as local drainage districts and community development districts.

PROJECT EXPERIENCE

Central Broward Regional Park, Lauderhill, FL. / Platting, Site Plan

Hired by the City of Lauderhill to plat a 109 acre park owned and developed by Broward County. Coordinated the approval process through the City, County and FDOT, including agreements for off-site improvements and site access (including acquisition), working directly with Broward County Parks & Recreation developing a site plan for a cricket stadium, water park and cultural facilities that was consistent with the needs of the City of Lauderhill and the design criteria for the City's "downtown vision."

Sheridan Station, Hollywood, FL / Project Coordination

Provided overall project coordination and platting for a Transit Oriented Development (TOD) at I-95 and State Road 822 (Sheridan Street) consisting of 1550 residential units, 300,000 sq. ft. of commercial, 245,000 sq. ft. of office, a 150 room hotel, a 6 acre park and an intermodal facility (tri-rail, bus, park and ride). The north half of the site is owned by FDOT and the south half is owned by a private developer that had a 99 year lease to develop the TOD, requiring detailed coordination between and on behalf of both owners in order for the City of Hollywood and Broward County to approve a land use plan amendment, rezoning, plat, site plan, vacations, easement and right of way dedications, off-site improvement cost estimates and plans. Eventual dissolution of the 99 year lease between FDOT and the developer resulted in further detailed coordination to break out the development between both owners by creating a separate parcel for the developer's 550 units and allocating the balance of the development to FDOT land. This required amending the plat prior to recordation as well as re-approving the zoning and land use approvals, traffic impact studies, and breaking out/reallocating the off-site improvements accordingly.

Monterra, Cooper City, FL / Due Diligence

Provided overall due diligence for an approximate 1 square mile former dairy farm for Lennar Homes in 2001 that included annexation options (3 municipalities), their entitlement processes, impact fees, environmental issues and mitigation, DRI, land use plan, zoning and platting requirements, traffic studies, utility studies and cut and fill calculations, including proposed development costs. Eventually partially developed in

EDUCATION

M.F.A. 1984
University of South
Florida, Tampa, FL

B.F.A., 1982
University of South Florida,
Tampa, FL

PROFESSIONAL CREDENTIALS

American Institute
of Certified Planners
No. 026468



Hoyt Holden, Page 2

subsequent years by a developer that went bankrupt, an analysis was performed to inspect all installed infrastructure for compliance with approved plans and permits, estimate all costs to install remaining or missing infrastructure, replace or modify poorly installed or maintained infrastructure including re-sloping of lakes, lake banks and mitigation for a new developer in order to obtain funding from Goldman Sachs after the housing crash of 2008.



Calvin, Giordano & Associates, Inc.
EXCEPTIONAL SOLUTIONS

Gianno Antonio Feoli

Landscape Urbanism and Branding

SUMMARY OF QUALIFICATIONS

Mr. Feoli leads the Landscape Department in creative design strategies for urban environments with specialties including urban design, contextual analysis and branding. He also conducts most of CGA's master planning, transit-oriented designs, community participation efforts and graphic communication services. His experience has encompassed a wide array of project-types, and his strengths lie in park design, streetscapes and urban interventions, and form-based urban designs and planning strategies.

RECENT PROJECTS

98nd Street Park, Bay Harbor Islands, FL. Site design and landscape design of a, urban community passive park with an interactive splash pad, restroom facility, children's play equipment, dog run area, flexible open space, branded planting design, urban plaza and furnishings.

Hallandale Beach A1A Streetscape, Hallandale Beach, FL. Site design and landscape design of a 2-acre urban community passive park with a dog run area, flexible open space, branded planting design, urban plaza and furnishings.

92nd Street Park, Bay Harbor Islands, FL. Site design and landscape design of a 2-acre urban community passive park with a dog run area, flexible open space, branded planting design, urban plaza and furnishings.

Kane Concourse, Bay Harbor Islands, FL. Developed a streetscape design for including hardscape design with pavers, planting and signage.

Doral Boulevard Beautification Master Plan, Doral, FL. Streetscape and urban design for a 4-mile stretch of Doral Boulevard, creating planning zones, access management design recommendations, signage and gateway features, stipulating architectural relationships to improved sidewalk design and parking design recommendations.

Alexan by Trammel Crow, Miramar, FL. Developed the pool and amenity area design for the clubhouse pool, including hardscape and planting design, spa design.

Gilda's Club, Ft. Lauderdale, FL. Developed a site design, site engineering, landscape and irrigation plan for a healthcare support facility intended for people living with cancer. The project consisted of creating terraced outdoor spaces for multiple uses, locating naming opportunities and creating healing and restorative garden experiences.

Sombrero Beach Park, Marathon, FL. Developed park master plan and design for the creation of a beachfront park with unique hardscape and paving design, dune access, volleyball courts, playgrounds, beach amenities, dune and turtle nesting habitat restoration.

EDUCATION

Master of Landscape
Architecture
Florida International
University
School of Architecture
Miami, Florida

B.A., Architectural Studies
Florida International
University
School of Architecture
Miami, Florida

Company Profile

Who is Aquadynamics?

Aquadynamics Design Group, Inc is an Aquatic Design and Engineering Firm founded by John J Wahler, a veteran design professional educated and experienced in both architecture and engineering.

Mr. Wahler has used his architectural and engineering experience to focus on the development of a firm completely dedicated to the planning and design of successful aquatic facilities for our clients.

The efforts of our firm are supported by the culture of our company. Mr. Wahler and his staff encourage a sense of success based solely on the performance of our design projects and how well we satisfy our client's needs.

In the end, the elimination of design related defects and the successful operation of our facilities is the essence of our mission..



Buccaneer River Ride at Grapeland Heights Park



Westin Diplomat Resort

Who are our Clients?

Our clients differ within the public and private sector. Public sector clients include Municipalities, Parks and Recreation Departments & Architectural Firms involved with master planning. Private sector clients include developers, contractors, swim school instructors, architects, and homeowners.

We are frequently invited by Architectural Firms to provide consultation on projects already in the design development phase. In such cases, Aquadynamics evaluates, recommends, provides support data and construction documents to aid in the completion of the overall building construction document set.

Types of facilities we design...

We help the public and private sector clients plan and design all types of facilities such as :

- Municipal Water Parks
- Family Aquatic Centers
- Competition Pools
- Multi Purpose Pools
- Hotel, Condominium, and Resort pools
- Hydro Therapy Pools
- Custom Architectural Pools
- Common Residential Pools
- Commercial/Municipal Renovations
- Facilities Evaluations
- High Rise Pool Engineering
- Water Activity Pools



Four Seasons Hotel

Personnel Assigned

Mrs. Taboada has over 23 years of aquatic design experience with projects in Florida and elsewhere. With respect to this project, she has been the Project Engineer and Assistant Principal-in-Charge for several aquatics facilities, including several Municipal and High School Competitive pools that are similar in scope and complexity to this project.

Her primary responsibilities are project management, hydraulic engineering design, and the internal production management of the AQUADYNAMICS DESIGN GROUP, INC. office in Miami Florida. Major emphasis is placed on the accurate completion of design detail, project design follow up, the finalization of bidding documents for permitting, construction, and construction administration.

Role In Project: Engineer of Record and Production Manager

Availability of Time for Project: 80%

Related Experience:

- Wilson Park Aquatic Facility and Community Center, Boynton Beach, FL - \$6,189,000 – Engineer of Record.
- C.B. Smith Park, Broward County, FL - \$7,000,000 - Engineer of Record.
- Gulliver Preparatory School, Miami, FL – 50m Competition Pool - Engineer of Record.
- Jacobs Aquatic Center, Key Largo, FL - \$3,500,000 – 25y x 25m Competition Swimming Pool with Dive Well. Engineer of Record.
- Coconut Cove Aquatic Complex and Recreation Center, Boca Raton, FL - \$5,700,000 - Engineer of Record.
- City of North Miami Beach Victory Park, 50m x 25yd Competition Swimming Pool - Budget \$2.5 Million - Engineer of Record.
- Mast Academy, Miami, FL. 25y x 25m Competition Swimming Pool with Dive Well – Budget \$1,100,000 Engineer of Record.
- Weston YMCA, Weston, FL. 25y x 50m Competition Swimming Pool - Budget \$1,600,000 - Engineer of Record.
- Nova High School, Broward County, FL - 25y Competition Pool with Dive Well and a Learn To Swim Pool - Engineer of Record.
- Pinecrest School, Broward County, FL - 25y Competition Pool with Dive Well. Engineer of Record.

Ofelia Taboada, P.E.

Vice President

Education

*Bachelor of Civil Engineering
 University of Havana 1989*

Professional Experience

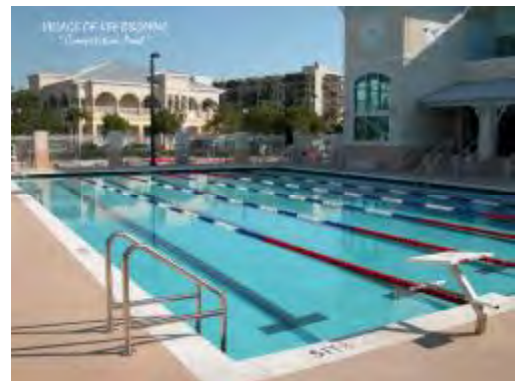
23 Years

Registration

State of Florida ENG 55339

Professional Affiliations

*World Water Park Association
 United Pool and Spa Association*



Village of Key Biscayne Aquatic Center



City of Coral Springs Aquatic Center

Personnel Assigned

Mr. Wahler has over 30 years of AQUATIC DESIGN ENGINEERING experience with projects in Florida and elsewhere. With respect to this project, he has been the Project Designer and Principal-in-Charge for several Aquatic Facilities, including High School and Municipal competition Pool Facilities that are similar in scope and complexity to this project.

His primary responsibilities are project management, aquatic engineering design, and the internal management of AQUADYNAMICS DESIGN GROUP, INC. office in Miami, Florida. Major emphasis is placed on the accurate completion of design detail, project scheduling/budget, the finalization of bidding documents for construction, and construction administration.

Role In Project: Principal in Charge of Aquatic Design

Availability of Time for Project: 80% Availability

Related Experience:

- Wilson Park Aquatic Facility and Community Center, Boynton Beach, FL - \$6,189,000 – Principal In Charge of Aquatic Design.
- C.B. Smith Park, Broward County, FL - \$7,000,000 - Principal In Charge of Aquatic Design.
- Gulliver Preparatory School, Miami, FL – 50m Competition Pool - Principal In Charge of Aquatic Design.
- Jacobs Aquatic Center, Key Largo, FL - \$3,500,000 – 25y x 25m Competition Swimming Pool with Dive Well. Principal In Charge of Aquatic Design.
- Coconut Cove Aquatic Complex and Recreation Center, Boca Raton, FL - \$5,700,000 - Principal In Charge of Aquatic Design.
- City of North Miami Beach Victory Park, 50m x 25yd Competition Swimming Pool - Budget \$2.5 Million - Principal In Charge of Aquatic Design.
- Mast Academy, Miami, FL. 25y x 25m Competition Swimming Pool with Dive Well – Budget \$1,100,000 - Principal In Charge of Aquatic Design.
- Weston YMCA, Weston, FL. 25y x 50m Competition Swimming Pool - Budget \$1,600,000 -Principal In Charge of Aquatic Design.
- Nova High School, Broward County, FL - 25y Competition Pool with Dive Well and a Learn To Swim Pool - Principal In Charge of Aquatic Design.
- Pinecrest School, Broward County, FL - 25y Competition Pool with Dive Well.

John J. Wahler

President

Education

*Associate Degree Construction Technology
 State University of New York 1976*

*Bachelor of Architecture
 University of Miami 1980*

Professional Experience

30 Years

Professional Affiliations

*World Water Park Association
 United Swimming Pool Association*

Company Registrations

*State of Florida Licensed Engineering Business
 Certificate of Authorization Number EB 4694*



Pompano Community Park 50 Meter Pool



Jacobs Aquatic Center Pool with Dive Well

OFFICE LOCATION**Main Office:**

West Construction, Inc.
West Architecture + Design, LLC
318 South Dixie Highway
Suite 4-5
Lake Worth, FL 33460

Onsite Office:

West will provided an on-site trailer with a full-time superintendant that will be fully accessible to the City staff.

Sub-Consultants:

All the sub-consultants are located within the Tri-county area and are easily accessible to the project location.

Note:

West currently has project's throughout the State, the Caribbean and in West Africa. West is familiar with the logistics of working in distant locations and does not anticipate any issues with this project. West currently has projects in the Miami-Dade area with our Operations personnel frequently visiting each jobsite location.



Approach to the Project

Design-Build Process:



Having a design/build firm is crucial to control budget, schedule, and be involved with cost benefit analysis, life cycle costs, and providing technical input on quality and performance of specific materials and equipment.



Once a budget is set by an owner for a project, it is critical that the project team works together to manage process to control the costs from beginning to end. For the owner, there are two main drivers that are controllable, design and construction. Money is saved by the design team with getting early technical feedback on the design. From the structure used for the buildings to the MEP systems, all these decisions influence cost. For the design team getting input early saves redesign time. All of which is ultimately passed on to the owner.



This process is more cost effective as it relates to the construction costs. Having **West's** Construction team working hand in hand with **West's** design team early on with its combined expertise in **Aquatic Facilities** allow decisions to be made that suits not only the budget but the functional use as well. Saving money on an item is not always the best answer. Understanding the project and its functional use allows the correct decisions to be made on where to save as well as what is essential for the successful long term operation of the facility.



Schedule is another important aspect to every Design/Build project. **West** uses Primavera P-6 to schedule our projects. This allows us to cost and resource load our projects to identify resourcing needs well before they occur. This integrated with our computer based project management software system and the use of BIM software for construction provides our clients with the level of comfort they need to have constant access to the project's vitals. This approach allows all stakeholders to have constant contact throughout the project by being given access to the project through our software system. All project related documents are controlled and updated through this web based service.



During the preconstruction process, West's team will hold bi-weekly meetings to review progress and discuss new and old business and provide updated schedules and cost estimates as warranted. These meetings will also allow for discussion on materials and equipment specified and cost benefit to each. These meetings allow the project to remain on course by assigning tasks for each individual to be accomplished by the next week meeting. Having accountability throughout the process and continuous follow up ensures success for all parties.



When Construction begins, **West** will have a field office on site to manage the day to day procedures of managing the project. Bi-weekly meetings will be held and two-week look ahead schedules will be distributed for review. **West** will take minutes of the meetings and distribute to the team for review and comment. New and old business will be discussed as well as other construction related issues, submittals, etc. These meetings provide an opportunity to have issues discussed and resolved in a partnering atmosphere of collaboration.



All document control is handled through the cloud and is available for viewing by all team members anytime anywhere in the world. This allows real time updates to minimize schedule disruptions through the RFI process.

Progress reports are provided monthly with Photos, Baseline Schedule updates, work narrative, daily reports, submittal log, RFI log, and budget report. This progress report is the supporting documentation to our monthly pay application.

Quality control starts with the design process. Selecting good durable and cost effective materials that are not impossible for the City's workers to maintain is a good first step. As those decisions are finalized, West will use its prequalified list of subcontractors and vendors to price the project, working with as many SBE and DBE firms as possible.



Managing the submittals for conformance to the design plans and specifications is the next important step in quality control and assurance. Chris Caprio, Operations Manager, will work with his team to carefully review all submittals and ensure they meet the requirements before submitting them forward to the design team for acceptance.



Once the submittal has been approved, and work is ready to commence, a pre-work is held with each discipline to review the plans, specifications, addendums, and submittals to make sure the respective subcontractors field personnel has been properly informed of the requirements for the project. This process avoids rework and lost time from the same. This process will be handled by Kurt King, Field Superintendent, in the field office.



Kurt will also be responsible for inspecting materials as they arrive to the project. This process involves pulling the approved submittal from the field office and confirming the product being delivered matches the approvals. Kurt will also inspect the work as it is being completed to ensure workmanship meets the highest level of quality.

West will also employ a third party testing and inspection company to provide confirmation on things such as density and



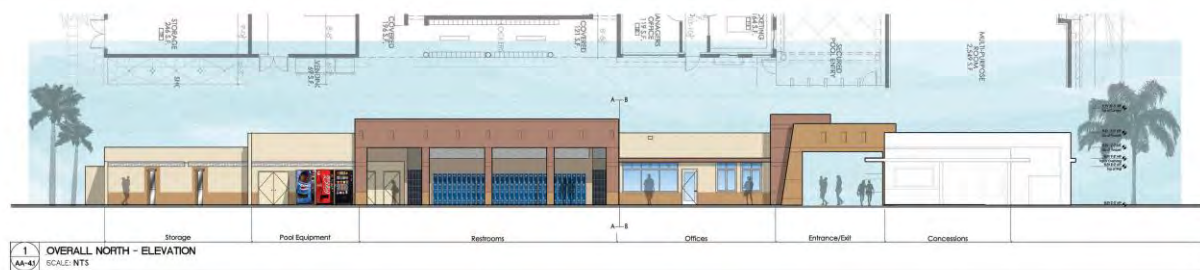
concrete compressive strength. This firm will provide threshold inspection services, if necessary, as well.

Our firm has substantial real cost data for **Aquatic Facilities**. Our vast experience allows us to have an advantage over other firms when conceptual cost estimating is required. We simply know what it costs to design and construct an **Aquatic Facility**. **West** also has a deep understanding of the different systems and their associated cost. All of this assists our team in being real tight with our initial conceptual estimates.

Architecture

Aesthetics

Our team will provide a design of the facility that is symbolically and abstractly linked to the modern Adobe style of architecture, character and color palette similar to the existing Community Center located at the project site.



Planning Services Narrative

A. Site Plan Processing

1. Planning Services shall assist the project team in preparing and processing a development review application through staff review, Zoning and Planning Board review and if applicable City Council review. Services include preparing the applications and coordinating the plan sets and physical submittal to the City of Miami Springs. Services include preparing written responses to staff comments and making one (1) resubmittal for staff review. Services include coordinating the plan sets and making the physical submittal for the Zoning and Planning Board meeting, and if applicable repeating the process for the City Commission meeting.

B. Meetings

1. Planners shall attend the required preliminary review meeting with City staff and up to 2 additional staff meetings. Planners shall attend the Zoning and Planning Board meeting, and if applicable, the City Council meeting. Neighborhood, Civic and Community meetings are not included. Historical Board applications and meetings and Board of Adjustment application and meetings are not included.

Landscape Architecture Narrative

A. Landscape Architecture elements at pool area

1. The Landscape Architecture scope shall include the items noted in the design criteria package for the Pool Area: the pool decking, the shower facility, the six tree grates in pool area deck, the synthetic turf inside the pool fence, the fencing surrounding the pool, the specifications for the pool umbrellas and the pool cabana structures.

2. Landscape and Irrigation Design

- The limit of work designated with the red line in the RFP shall be 100% fully irrigated. The Trees and Palms shall be irrigated with an emitter drip irrigation system. A full coverage spray system shall be included for the shrub and turf areas.
- The tree, palm and shrubs shall be specified per the Design Criteria Package.
- The landscape architectural scope shall include: Waste and recycling receptacles, Bike Racks, Benches, transplanting existing specimen palms, planting soil excavation and replacement, tree permit and meeting the landscape code for Miami Springs.

Surveying Services Narrative

A. Design Survey

1. A design survey will be conducted of the overall site in order to prepare a Map of Boundary and Topographic Survey. The survey will be prepared in accordance with the standards as set forth by Chapter 5J-17 of the Florida Administrative Code pursuant to Florida Statutes Chapter 472.027. All boundary corners will be found or re-set together with a survey report that will include the legal description, flood zone information for the subject property and other pertinent as-built survey information. The Surveyor will locate all above ground improvements within the parcel with horizontal locations and vertical elevations being obtained for all above ground constructed improvements, including such items as buildings, parking lots, pools, walks, edge-of pavement, access points, building, and visible above ground utilities. Visible above ground utilities refer to the visible structures (e.g., manholes, valve boxes, etc.) typically associated with storm, sanitary, water, electric, gas, telephone and cable television.

B. Construction Stake-Out Services

1. Based on the structural and architectural plans, the Surveyor will provide the construction layout for the initial site preparation of the building pads for the buildings. The Surveyor will calculate a perimeter box around the proposed improvements and provide offset stakes for the limits of building construction based on contractor's requirements. Exact stake-out and offset requirements will be coordinated with the construction superintendent. The Surveyor will stake the four outside building corners with hubs and tacks. In addition, The Surveyor shall provide all necessary offset hubs for proper alignment. Upon completion of the stakeout, The Surveyor will measure the diagonals of the corner hubs to verify that the building is square and set grade stakes to indicate the proposed finish floor elevation. It is anticipated that the stakeout for these two buildings will be an overall rectangle box and the scope of services and fee proposal is based upon this assumption. Depending on the requirements of the permitting agencies, The Surveyor will provide either a "form board survey" showing the location of the concrete formwork or a "slab survey" showing the location of the concrete slab for the required buildings. The Surveyor will measure the perimeter of the slab foundation and distances from property lines to building improvements. The survey will show building setback ties to property lines, measurement of improvements and finish floor elevation all in accordance with current requirements of the governmental agencies having jurisdiction. The surveys will also adhere to the technical standards for surveying and mapping in the State of Florida according to Chapter 5J-17 of the Florida Administrative Code.

C. As-Built Survey

1. The Surveyor will conduct an as-built survey of the overall constructed site in order to prepare a Map of AS-Built Survey. The survey will be prepared in accordance with the standards as set forth by Chapter 5J-17 of the Florida Administrative Code pursuant to Florida Statutes Chapter 472.027. All boundary corners will be found or re-set together with a survey report that will include the legal description, flood zone information for the subject property and other pertinent as-built survey information. The Surveyor will locate all above ground improvements within the parcels with horizontal locations and vertical elevations being obtained for all above ground constructed improvements, including such items as buildings, parking lots, walks, edge-of pavement, access points, building, and visible above ground utilities. Visible above ground utilities refer to the visible structures (e.g., manholes, valve boxes, etc.) typically associated with storm, sanitary, water, electric, gas, telephone and cable television.

Engineering Services Narrative

A. Parking Lot Design

1. Preliminary Design
 - a. Design and Prepare the following preliminary plans:
 - i. Paving, Grading, and Drainage plans
 - ii. Paving, Grading, and Drainage details
 - iii. Paving Grading, and Drainage Sections
 - iv. Pavement Marking and Signage Plans
 - v. Pavement Marking and Signage Details
 - a. Prepare a preliminary Engineer's Opinion of Probable Costs
 - b. Submit 30% plans for review and comment by client/owner.
 - c. Address owner comments, revise plans accordingly, and submit for Engineering and Environmental Resource Permits as identified below.
2. Final Design
 - a. Develop the following plans and documents for use in permitting and construction:

- i. Paving, Grading, and Drainage plans
- ii. Paving, Grading, and Drainage details
- iii. Paving Grading, and Drainage Sections
- iv. Pavement Marking and Signage Plans
- v. Pavement Marking and Signage Details
- vi. General Notes and Specifications
- b. Submit 60% (Permit Plans) plans for review and comment by client/owner.
- c. Address owner comments, revise plans accordingly, and submit for Engineering and Environmental Resource Permits as identified below.
- d. Incorporate permit plans review comments into the plans
- e. Update Engineer's Opinion of Probable Costs
- f. Submit 100% plans for review and comment by client/owner.

B. Permitting

1. Permit Filing

Apply for and pursue engineering and environmental resource permits from the following agencies:

- a. Miami-Dade Regulatory and Economic Resources Department (RER - f/k/a/ DERM)
- b. City of Miami Springs Engineering Department
- c. Engineering services during construction

2. Review shop drawings and coordinate with construction department for review and processing. As this proposal is being provided prior to commencement or completion of the design, we cannot know how many components will require shop drawings. Accordingly, Shop drawing review includes an allowance for up to 10 submittals, including resubmittals of rejected shop drawings. Submittals in excess of 10 shall merit additional review fees.

- a. Shop drawings for the same component which have been rejected twice will require additional review fees to be paid prior to each subsequent review.
- b. Contractor shall submit list of shop drawing submittals to be made. This list of submittals shall be made at the pre-construction meeting or prior to submittal of his first shop drawing. Shop drawing review will not commence until such list of submittals is received by the Engineer.

- c. Review as-builts after review and acceptance by Engineer's inspector.

3. Respond to contractor Requests for Information (RFI's) during construction and coordinate with Engineer's construction department for review and processing.

4. Review as-builts after review and acceptance by construction inspector.

5. Prepare and issue certifications when appropriate and merited. Please note that issuance of certifications will require field observation which is to be conducted by an authorized representative of the Engineer, in this case, Engineer's Construction Services personnel. These services are offered under the Construction Services section of this proposal, and Engineering Certifications cannot be made without them.

- a. Engineering Certifications cannot be provided without inclusion of Engineer's Construction Services Department who provides the inspection services to facilitate the inspections.

Structural Design Narrative

I – Foundation

A. Foundation to be a shallow concrete foundation with steel reinforcing. Foundations of adjacent buildings are on piling so some site preparation may be required to allow the building to sit on shallow concrete foundations. Spread wall foundations to be no less than 24" wide x 12" deep and column foundations to be no less than 3' x 3' squares and no thinner than 12" deep.

B. Value engineering opportunities with the foundation are largely dependent on the soils analyses performed by the geotechnical engineer. However, all effort will be made to avoid pilings and have the building sit on shallow concrete footings. The design spec calls for top of spread footings to be 24" below finish grade. We recommend the top of spread footings be 16" below finish grade and to be stepped down where required. We also recommend a 2,500 psi design mix be used for the concrete in the foundations.

II – Exterior Walls

A. The exterior walls will be designed as 8" reinforced masonry walls with vertical steel reinforcing as required by wind load criteria. Horizontal reinforcing will be required within the walls at 16" o.c. All beams will be poured concrete and intermediate bond beams will be required to avoid future cracking in the walls.

B. Value engineering opportunities in the exterior walls largely reside in the poured beams and lintels. Precast concrete lintels will be used over as many openings as possible. Concrete beams within the walls will be held to the minimum depths that code allows. Concrete columns within the walls will be avoided where ever possible.

III – Roof Framing

A. The design narrative calls for a one way concrete slab with steel reinforcing. This will involve a concrete slab between 8 to 12 inches thick with two levels of steel reinforcing. Poured concrete beams and columns will be required to support the roof structure where needed.

B. For value engineering of the roof framing, we recommend a precast concrete roof consisting of an 8" thick hollow core slab spanning from exterior wall to exterior wall. This will be more cost effective than a one way concrete slab and will save construction time. The system is also lighter than a conventional poured slab which will result in lighter wall reinforcing and smaller foundations.

MEP Engineering Narrative

MEP Schematic Design Phase

- Electrical and mechanical systems design narrative
- Preliminary load calculations
- Applicable codes and ordinances review
- Preliminary power system one line and riser diagram
- Flow test request
- Electrical and communication rooms size and location
- Mechanical room sizes and locations (based on preliminary calculation)

MEP Design Development Phase

- Updated electrical and mechanical systems design narrative and outline specifications

- Site plan
- Updated load calculations
- Updated power system one line and riser diagram
- HVAC single line duct layout
- Preliminary short circuit calculation
- Systems risers
- All electrical and mechanical equipment shown in room layouts with appropriate clearances required
- Power, lighting and systems layouts
- Luminaires types and description
- Roof plan with lighting protection system notes
- Equipment and lighting cuts to architect
- Plumbing equipment schedules
- HVAC equipment schedules

MEP Construction Documents phase

- Final power system one line and riser diagram
- HVAC double line duct layout
- Final electrical and mechanical systems design narrative and project specifications
- Final load calculations and short circuit calculations
- Final systems risers
- Plumbing Isometrics
- Final power, lighting and systems circuit information and layouts
- Final electrical and mechanical room equipment show in rooms layout with all ducts, piping sized with appropriate clearances indicated
- Final luminaires types and description
- Final roof plan with lighting protection system
- Final switchgear equipment schedule
- Final details

Up to three (3) design review meetings are included in Engineer's proposed work scope.

Design modifications may occur during the design and construction process, because it is impossible to foresee or anticipate every design issue until the design work is completed. Modifications can result in increases or decreases in actual construction cost. Therefore, it is important that a reasonable allowance or contingency be included in the bid to accommodate any changes in design as developed for this proposal.

MEP OPTIONAL SECURITY DESIGN SERVICES

1. Engineer shall provide design documents and specifications suitable for bid and construction for an integrated security system with input information from door contacts, motion detectors, proximity card readers and cameras as a part of the project
2. Access monitoring and control of all entry doors.
3. CCTV cameras to monitor parking area, pool area, and common corridors.
4. An active security monitoring point will be established in an area designated by the owner where these signals, alarm points and CCTV monitoring and digital recording can be displayed, recorded and response provided.

5. Engineer shall coordinate the security design with the selected hardware vendor and the users groups and shall provide a door matrix indicating responsibility of each associated device.
6. Location, Sizing and layout of security monitoring point (control area).
7. Vertical and horizontal intra-building infrastructure for security cabling (raceways).
8. The technology and Communications Division will provide power requirements for the security equipment to the project electrical engineer for his inclusion into the electrical support documents.
9. Coordination with MEP pathways and provisioning, and shall include basic riser diagrams, elevations, and schedules.

All of the above will be provided in complete engineered construction documents, and will include all required project specifications.

MEP CONSTRUCTION PHASE SERVICES

Construction Phase Services provided for this project shall include:

1. Response to bidder questions.
2. Response to local permitting official's comments.
3. Response to Contractor's Request for Information (RFI) during the construction period.
4. A total of 3 (3) site visits to become generally familiar with the progress and quality of the construction work in order to determine if the work is being performed in general accordance with the construction documents. (The mix of mechanical, electrical, plumbing, technology field representation may change based on the needs of the project during the construction phase). Substantial completion and final inspection, if requested, would each constitute a site visit.

Possible Value Engineering suggestions below:

Mechanical:

- RTU's in lieu of split DX systems.
- Individual controls per unit in lieu of Control System.
- Fiber ductboard in lieu of sheet metal in areas where appropriate.

Electrical:

- Remove generator.
- Aluminum wire for feeders 100A and above.
- Fluorescent lighting in lieu of LED.
- 150degC rise aluminum transformers.
- Remove lightning rod protection system.
- Remove raceways for communication systems; provide service conduits only.
- Remove fire alarm system; unless occupancy 300 or more for assembly then FA system required.
- Remove security system (CCTV, intrusion detection, access control).
- Did not see requirement for nighttime pool use, but if required additional lighting would be required min 6fc on pool/wet deck, eliminate night use is in criteria.

Plumbing:

- CPVC piping in lieu of copper.

- Floor mounted water closets.
- Tank type water heaters in lieu of insta-hots.

POOL DESIGN APPROACH:

MULTI-PURPOSE POOL

As the current DCP Pool Drawings have outlined in detail the pool configuration, it will be the Aquatics Team Design Approach to modify, alter, amend, as necessary those portions of the pool that are required to change to meet Florida Building Code and Florida Department of Health Standards. Overall, the pool is compliant except for areas in the shallow end Beach Entry where some modifications have been suggested and are outlined in the presentation drawings

SHALLOW END BEACH ENTRY MODIFICATIONS

Under current regulations, the 8 foot wide ledge and 1'-6" flat pool bottom depths are not permitted. The approach to change this area to meet code is as follows:

Provide a Zero Depth Entry area designated at pool perimeter and slope away from this area to the opposite wall where the depth will terminate at 3 feet water depth. This depth falls in line with the transition area depth between the shallow and Lap Swimming Pool Areas.

These changes will add volume to the pool requiring a change in the pool filter rate and pump from 798 to 944 GPM. Additionally, recalculation of the Zero Depth Area is required as the minimum flow there is based on 2 hours vs. the 2.5 from the DCP.

GUTTER EDGE DETAIL

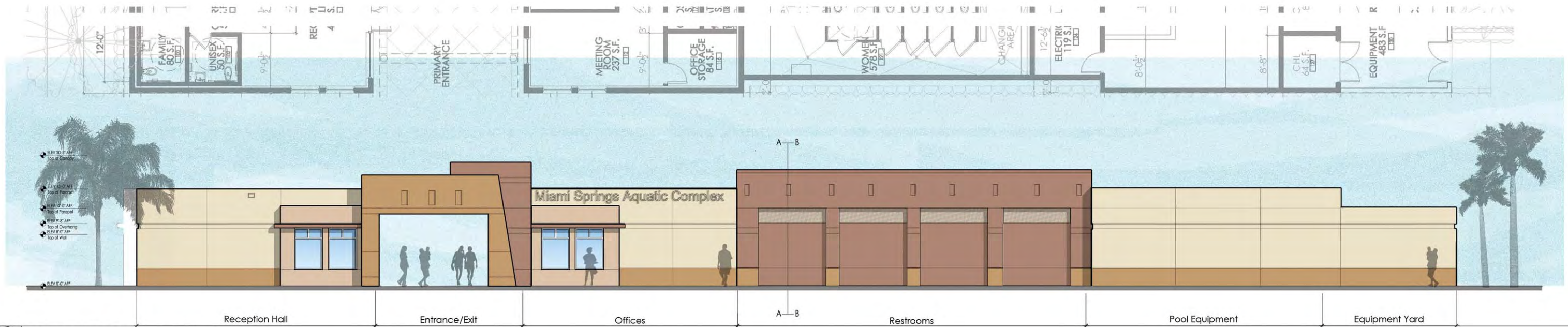
The Team will propose a Deck Level Grated Gutter using tile, FRP Grate and following a configuration that is more consistent with Florida Standards. Dimensionally the gutter will be the same, with only a slight change to the Trim Tile or Coping shown on the DCP plans.

SLIDE PLUNGE POOL AREA

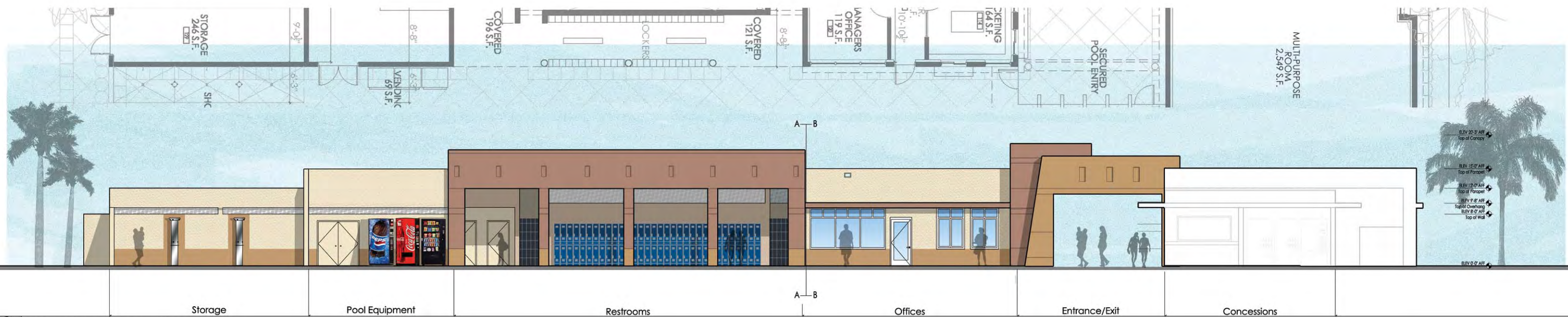
The Team will propose an independent Collector Tank for the Slide pump and locate it somewhere under the slide platform. The Tank is required by code as an Anti-Entrapment Device. The 2 pool drains in the plunge area will be reduced to 1 to follow suit with the addition of the tank.

SUMMARY

The Team plans to follow suit with the DCP Pool Drawings except for the changes noted or other changes that may be suggested for VE or others that may be necessitated through Government Agency Design Review.



1 OVERALL SOUTH - ELEVATION
 AA-4.3 SCALE: NTS



1 OVERALL NORTH - ELEVATION
 AA-4.1 SCALE: NTS



**CITY OF MIAMI SPRINGS
AQUATIC FACILITY**

BASE BID FORM

| | | | |
|-------------|---|----|---------------------|
| Division 1 | General Requirements | \$ | <u>368,026.00</u> |
| Division 2 | Sitework | \$ | <u>458,316.00</u> |
| Division 3 | Concrete | \$ | <u>405,000.00</u> |
| Division 4 | Masonry | \$ | <u>90,000.00</u> |
| Division 5 | Metals | \$ | <u>10,000.00</u> |
| Division 6 | Wood and Plastics | \$ | <u>30,000.00</u> |
| Division 7 | Thermal and Moisture Protection | \$ | <u>118,793.00</u> |
| Division 8 | Doors and Windows | \$ | <u>115,610.00</u> |
| Division 9 | Finishes | \$ | <u>239,250.00</u> |
| Division 10 | Specialties | \$ | <u>42,443.00</u> |
| Division 11 | Equipment | \$ | <u>-0-</u> |
| Division 12 | Furnishings | \$ | <u>5,000.00</u> |
| Division 13 | Special Construction – Swimming Pool | \$ | <u>696,200.00</u> |
| Division 14 | Conveying Systems | \$ | <u>-0-</u> |
| Division 22 | Plumbing | \$ | <u>91,860.00</u> |
| Division 23 | Heating, Ventilation and Air Conditioning | \$ | <u>120,000.00</u> |
| Division 24 | Electrical | \$ | <u>264,000.00</u> |
| Division 27 | IT/Communication | \$ | <u>24,000.00</u> |
| Division 28 | Electronic Safety and Security | \$ | <u>22,000.00</u> |
| Division 31 | Earthwork | \$ | <u>62,000.00</u> |
| Division 32 | Exterior Improvements | \$ | <u>120,000.00</u> |
| Division 33 | Utilities | \$ | <u>169,000.00</u> |
| | Total Construction Cost | \$ | <u>3,451,498.00</u> |
| | Design Fees | \$ | <u>297,600.00</u> |
| | Contractor’s Overhead and Profit | \$ | <u>373,962.00</u> |
| | Payment and Performance Bond | \$ | <u>40,000.00</u> |
| | Total Construction Cost | \$ | <u>4,163,060</u> |
| | Owner Contingency (5%) | \$ | <u>208,153.00</u> |
| | Grand Total Cost | \$ | <u>4,371,213.00</u> |

Additional Cost Breakdown

Provide complete cost for all work associated with each of these components

| | | | |
|---|--------------------------------|----|---------------------|
| 1 | Pool Building | \$ | <u>1,049,991.00</u> |
| 2 | Multipurpose Building | \$ | <u>851,286.00</u> |
| 3 | Concessions Building | \$ | <u>83,871.00</u> |
| 4 | Sitework/Exterior Improvements | \$ | <u>745,567.00</u> |
| 5 | Pool/Pool Deck | \$ | <u>1,046,549.00</u> |

**CITY OF MIAMI SPRINGS
AQUATIC FACILITY**

ALTERNATES

Refer to Specification Section 012300 Alternates for description of each item

| | | |
|--------------|--|--------------------------|
| Alternate 1 | Additional Pool Lane | \$ <u>4,000.00</u> |
| Alternate 2 | Playground | \$ <u>45,524.00</u> |
| Alternate 3 | Demolition of Existing Piles | \$ <u>100/LF</u> |
| Alternate 4A | Option 1 - Large Pool Slide (Sheet AP-11) | \$ <u>229,337.00</u> |
| Alternate 4B | Option 2 - Medium Pool Slide (Sheet AP-12) | \$ <u>175,461.00</u> |
| Alternate 4C | Option 3 - Small Pool Slide (Sheet AP-12) | \$ <u>154,160.00</u> |
| Alternate 5A | Pool Furniture | \$ <u>458.00/EACH</u> |
| Alternate 5B | Pool Furniture | \$ <u>220.00/EACH</u> |
| Alternate 5C | Pool Furniture | \$ <u>8,901.00/EACH</u> |
| Alternate 6 | Window Treatments | \$ <u>6,600.00</u> |
| Alternate 7A | Multipurpose Room Furniture | \$ <u>315.00/EACH</u> |
| Alternate 7B | Multipurpose Room Furniture | \$ <u>134.00/EACH</u> |
| Alternate 8 | Umbrella Canopy | \$ <u>13,951.00/EACH</u> |

ALLOWANCES

Refer to Specification Section 012100 Allowances for description of each item

| | | |
|-------------|----------------------------|-------------------|
| Allowance 1 | Catering Kitchen Equipment | \$ <u>\$5,000</u> |
|-------------|----------------------------|-------------------|

UNIT PRICES

Refer to Specification Section 012300 Unit Prices for description of each item

| | | |
|--------------|--|--------------------|
| Unit Price 1 | Pool Deck - Cost/Square Foot | \$ <u>6.60</u> |
| Unit Price 2 | Aluminum Fence - Cost/Linear Foot | \$ <u>48.00</u> |
| Unit Price 3 | Chain Link Fence - Cost/Linear Foot | \$ <u>28.00</u> |
| Unit Price 4 | Pool Cabana - Cost/Cabana | \$ <u>7,906.00</u> |
| Unit Price 5 | Umbrella Canopy - Cost/Umbrella Canopy | \$ <u>2,250.00</u> |
| Unit Price 6 | Pool Lockers - Cost/Locker | \$ <u>800.00</u> |

OWNER PURCHASED/CONTRACTOR INSTALLED

Refer to Specification Section 012400 Schedule of Owner Purchased Items for each item

| | | |
|------|-------------------------|---------------------|
| OP-1 | Pool Cabanas | \$ <u>2,500.00</u> |
| OP-2 | Umbrellas Canopy | \$ <u>750.00</u> |
| OP-3 | Wet Play Pool Equipment | \$ <u>32,000.00</u> |



City of Miami Springs
 201 Westward Drive
 Miami Springs, Florida 33166-5259

REQUEST FOR PROPOSAL # 01-14/15
Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive
 Proposals to be opened in the Council Chambers, 201 Westward Dr., Miami Springs, FL 33166
 at 2:30 P.M. on Thursday, December 4th, 2014

| | |
|--|--|
| Vendor Name: West Construction, Inc. | Federal Identification or Social Security Number: 59-1809068 |
| Vendor Mailing Address: 318 South Dixie Highway, Suite 4-5 | Payment Terms: Bi-Weekly The City of Miami Springs' faster and preferred method of payment is by way of Visa (P-card). Do you accept this form of payment: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> |
| City - State - Zip Code: Lake Worth, FL 33460 | Delivery in Days After Receipt of Purchase Order: 460 days |
| (Area Code) Telephone Number: (561) 588-2027 | (Area Code) Facsimile Number: (561) 582-9419 |
| E-Mail Address: mamorgan@westconstructioninc.net | Initial appropriate box to acknowledge amendment(s), if necessary. <input checked="" type="checkbox"/> Amendment #1 <input checked="" type="checkbox"/> Amendment #2 <input type="checkbox"/> Amendment #3 |
| I certify that this Proposal is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a Proposal for the same materials, supplies, or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this Proposal and certify that I am authorized to sign for, and commit, the vendor. | <i>Martha A. Morgan</i> Authorized Signature (Manual) Martha A. Morgan, President Authorized Signature (Typed or Printed Title) |
| STATE OF: <u>FLORIDA</u> COUNTY OF: <u>PALM BEACH</u> BEFORE ME, the undersigned authority, this document was acknowledged by <u>Martha A. Morgan</u> who: <input checked="" type="checkbox"/> is personally known to me, or <input type="checkbox"/> produced identification _____ who, after being duly sworn by me, states that he/she has executed this document for the purposes herein expressed. SWORN TO AND SUBSCRIBED before me this <u>11th</u> day of <u>December</u> 2014. MY COMMISSION EXPIRES: <u>May 26, 2015</u> | |
| <div style="display: flex; justify-content: space-between; align-items: center;"> <div style="text-align: center;"> <p><i>Racquel J. Barrett</i> NOTARY PUBLIC, State of Florida At Large Racquel J. Barrett Printed Name</p> </div> <div style="text-align: right;"> <p>RACQUEL J. BARRETT MY COMMISSION # EE 097664 EXPIRES: May 26, 2015 Bonded Thru Budget Notary Services</p> </div> </div> | |

N/A
STATEMENT OF NO RESPONSE

Some recipients of this solicitation may elect not to respond for a variety of reasons. The City of Miami Springs is very interested in learning whether certain conditions exist with our solicitation process which may discourage responses. Accordingly, if you elect not to respond with an offer to this solicitation, we ask that you indicate the reason below and either fax this form to 305-805-5018 or mail the form to:

City of Miami Springs
Finance Department
201 Westward Drive
Miami Springs, FL 33166-5259

- We do not offer this product/service or an equivalent.
- Our schedule would not permit us to perform
- Insufficient time to respond to solicitation.
- Unable to meet specifications.
- Specifications not clear.
- Unable to meet bond and/or insurance requirements.
- Solicitation addressed incorrectly.
- Specifications "too tight"
(i.e. geared to specific brand or manufacturer).

If an explanation is appropriate, you may include it below or in an attached letter.

Due to the large number of companies listed on the City's vendor list and the cost of mailing, it is necessary to delete the names of persons or businesses who fail to respond to three (3) consecutive solicitations without giving a reason or requesting retention on our vendor list.

Do you desire future solicitations? Yes No

Name: _____ Title: _____

Company: _____

Address: _____

Telephone: _____ Fax: _____

CONTRACTOR'S QUESTIONNAIRE

Company Name: West Construction, Inc.

Principal Officer: Martha A. Morgan, President

Company Address: 318 South Dixie Highway, Suite 4-5, Lake Worth, FL 33460

Years in Business under Present Name: 44 years

Primary type of work your firm engages in: General Construction

Years experience in your primary type of work: 44 years

List other types of work your firm engages in:

Design-Build

Does your organization have a current occupational license(s) and certificate(s) of competency entitling it to do the work contemplated in this Contract? Yes

Include copies of licenses and certificates with proposal.

Does your organization currently accept Visa (P-Cards) as form of payment? Yes No

Demonstrate your capacity to perform work of this magnitude by indicating five (5) projects that are equal to or greater in scope specifically for any experience/occasion in/of providing likes services to municipal or county governments within the past five (5) years.

| | | |
|--|---|-----------------------|
| Company Name: City of Boynton Beach | Contact Name: Kevin Ramsey, Senior Project Manager | |
| Contract Amount: \$1.4 Million | Phone # 561-742-6986 | Fax # 561-742-6285 |
| Email: ramseyk@bbfl.us | | |

| | | |
|---|--|-----------------------|
| Company Name: Town of Surfside | Contact Name: Chris Giordano, Project Manager | |
| Contract Amount: \$4 Million | Phone # 954-921-7781 | Fax # 954-921-8807 |
| Email: cgiordano@calvin-giordano.com | | |

| | | |
|-------------------------------------|--|-----------------------|
| Company Name: City of Plantation | Contact Name: Susan DiLaura, Public Relations | |
| Contract Amount: \$510,222 | Phone # 954-797-2221 | Fax # 954-797-2223 |
| Email: sdilaura@plantation.org | | |

| | | |
|-----------------------------------|------------------------------------|-----------------------|
| Company Name: City of Sanford | Contact Name: Robert Beall | |
| Contract Amount: \$4.4 Million | Phone # 407-688-5080, Ext. 5423 | Fax # 407-688-5021 |
| Email: beallr@sanfordfl.gov | | |

Have you ever failed to complete any work awarded to you? No

If so, where and why? N/A

Has any officer or partner of your organization ever failed to complete a contract handled in his own name? No

If so, state name of individual, name of owner, and reason thereof:
N/A

What equipment do you own that is available for the proposed work.

Please see attached Equipment List.

What Bank or Banks have you arranged to do business with during the course of the Contract should it be awarded to you? SunTrust Bank

List the names, addresses, and phone numbers of all subcontractors which you may utilize to perform this contract. No change in subcontractors, as listed, will be allowed without the written approval of the City of Miami Springs.

Once the design is underway, West will work with the City to solicit local subcontractors,

SBE and CSBE firms to participate in the project. Final selections will be made based on

the most qualified firms.

SPECIAL CONDITIONS

SCOPE The intent of these specifications is to set forth and convey to prospective proposers this **Request for Proposal for a Design Build Project for Miami Springs Aquatic Facility** as desired by the City of Miami Springs.

TERM OF CONTRACT The City's Fiscal year begins October 1 and ends September 30 of the following calendar year. When a Contract's term extends beyond the fiscal year in which the Contract commences, the City will issue a Purchase Order to cover its needs for the balance of that fiscal year. At the beginning of each fiscal year thereafter, a purchase order will be issued to correspond with that year. In the final year of the contract, a purchase order will be issued for the remaining months of the contract. Issuance of a new purchase order shall be subject to the availability of budgeted funds. If funds are not appropriated for continuance of a term contract to completion, cancellation may be effected upon thirty (30) days notice.

| | |
|-------------|--------|
| Accept ✓ | Reject |
|-------------|--------|

TERMINATION OF CONTRACT The City of Miami Springs reserves the right to terminate this contract if the successful proposer fails to perform satisfactorily in all areas of service, availability, delivery, quality and any other area covered by these specifications. In the event of such cancellation, the City additionally reserves the right to make the award for the balance of the contract period to the next higher proposer.

FAILURE TO COMPLY Any failure on the part of a responder to provide the documentation set forth in the Design Criteria specifications could, in and of itself, constitute a determination that the proposal is non-responsive and therefore disqualified.

PROPOSERS STANDARD CHECKLIST:

Did you remember to include/complete the following?

- ✓ 2 CD's of complete Request for Proposal response
- ✓ 1 Original and 8 copies of complete Request for Proposal response including full size copies of plans
- ✓ Copy of current licenses
- ✓ Proof of current insurances
- ✓ Bid Bond
- * ✓ Payment/ Performance Bond
- ✓ Proof of Amendment receipts

*Payment/Performance Bonds will be provided upon award of Contract.

Although the foregoing is intended to provide a complete list of all Proposal requirements and submittals, the City's failure to include any Proposal requirements or submittals therein, shall not constitute a waiver of any RFP requirements for any proposer.

HOLD HARMLESS AND INDEMNITY CLAUSE

To the fullest extent permitted by law, rule, regulation, or other applicable governmental provisions,

CONTRACTOR " West Construction, Inc. " shall indemnify,

(Contractor Name)

defend and hold harmless the City of Miami Springs ("Owner"), and Project Manager, their representatives, officers, officials, and employees ("Indemnities"), from and against all claims, damages, losses, liens, causes of action, suits, judgments, costs or expenses, including but not limited to reasonable attorney's fees ("Claims"), to the extent caused by the negligence, recklessness, or intentional wrongful misconduct of the Contractor and persons employed or utilized by the Contractor in the performance of the Contract.

**FAILURE TO COMPLETE, SIGN AND RETURN THIS FORM
MAY DEEM YOUR RESPONSE NON-RESPONSIVE**

OFFEROR'S DISCLOSURE OF SUBCONTRACTORS, SUBCONSULTANTS, AND SUPPLIERS

Please list all Subcontractors, Sub-consultants, and Suppliers to be used in connection with performance of the Contract (use additional pages, if necessary):

1. Company Name: Warren J. Von Werne, Inc.
Address: 11388 Okeechobee Blvd.
Suite B-101
City, State, & Zip Code: Royal Palm Beach, FL 33411

2. Company Name: TLC Engineering for Architecture
Address: 5757 Blue Lagoon Drive
Suite 400
City, State, & Zip Code: Miami, FL 33126

3. Company Name: Calvin, Giordano & Associates, Inc.
Address: 1800 Eller Drive
Suite 600
City, State, & Zip Code: Fort Lsuderdale, FL 33316

4. Company Name: Aquadynamics Design Group, Inc.
Address: 5000 SW 75th Avenue
Suite 103
City, State, & Zip Code: Miami, FL 33155

5. Company Name: Subcontractors TBD
Address: _____

City, State, & Zip Code: _____

**FAILURE TO COMPLETE, SIGN AND RETURN THIS FORM
MAY DEEM YOUR RESPONSE NON-RESPONSIVE**

ANTI-KICKBACK AFFIDAVIT

STATE OF FLORIDA }
} SS:
COUNTY OF MIAMI-DADE }

I, the undersigned, hereby duly sworn, depose and say that no portion of the sum herein RFP will be paid to any employees of the City of Miami Springs, its elected officials, and West Construction, Inc. or its design consultants, as a commission, kickback, reward or gift, directly or indirectly by me or any member of my firm(s) or by an officer of the corporation.

By: Martha A. Morgan
Title: Martha A. Morgan, President

Sworn and subscribed before this
11th day of December, 2014

Racquel J. Barrett
Notary Public, State of Florida
Racquel J. Barrett
(Printed Name)



My commission expires: May 26, 2015

**FAILURE TO COMPLETE, SIGN AND RETURN THIS FORM
MAY DEEM YOUR RESPONSE NON-RESPONSIVE**

NON-COLLUSIVE AFFIDAVIT

State of) Florida
) SS:
County of) Miami-Dade

Martha A. Morgan, being first duly sworn, deposes and says that:

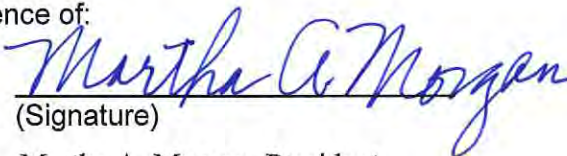
- a) He/she is the President, (Owner, Partner, Officer, Representative or Agent) of West Construction, Inc., the Offeror that has submitted the attached Offer;
- b) He/she is fully informed respecting the preparation and contents of the attached Offer and of all pertinent circumstances respecting such Offer;
- c) Such Offer is genuine and is not collusive or a sham Offer;
- d) Neither the said Offeror nor any of its officers, partners, owners, agents, representatives, employees or parties in interest, including this affiant, have in any way colluded, conspired, connived or agreed, directly or indirectly, with any other Offeror, firm(s), or person to submit a collusive or sham Offer in connection with the Work for which the attached Offer has been submitted; or to refrain from proposing in connection with such Work; or have in any manner, directly or indirectly, sought by person to fix the price or prices in the attached Offer or of any other Offeror, or to fix any overhead, profit, or cost elements of the Offer price or the Offer price of any other Offeror, or to secure through any collusion, conspiracy, connivance, or unlawful agreement any advantage against (Recipient), or any person interested in the proposed Work.

Signed, sealed and delivered in the presence of:

By: 
Witness

Matthew F. West, Secretary

Witness (Printed Name)


(Signature)

Martha A. Morgan, President

(Title)

**FAILURE TO COMPLETE, SIGN AND RETURN THIS FORM
MAY DEEM YOUR RESPONSE NON-RESPONSIVE**

CITY OF MIAMI SPRINGS



*Purchasing Department
201 Westward Drive
Miami Springs, FL 33166-5259
Phone: (305) 805-5035
Fax: (305) 805-5018*

*Tammy Romero
romerot@miamisprings-fl.gov
Professional Services Supervisor*

AMENDMENT 1

**Design-Build Project for Miami Springs Aquatic Facility
at 1401 Westward Drive
REQUEST FOR PROPOSAL# 01-14/15**

November 14th, 2014

Request for Proposal # 01-14/15, for Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive is amended as follows:

This addendum is issued to clarify the previously issued request for proposal documents and is hereby made a part of the contract documents. All requirements of the documents not modified herein shall remain in full force and effect as originally set forth.

The following are question(s) and answer(s) from the request for proposals and from the Pre-Bid conference held on **November 5th, 2014**.

- 1. Question:** Who is the Project Manager with Bermello Ajamil for the project?
- 1. Answer:** Mr. Jorge Ferrer is the Project Manager assigned to this project, however, because we are in a "Cone of Silence" with this project he may not be contacted until after an award is made.

- 2. Question:** Do you have available the site plan for the project?
- 2. Answer:** Yes, however per the Legal Notice, this Request for Proposal along with the Design Criteria package is available in PDF electronic format only upon written request to Tammy Romero via email at:romerot@miamisprings-fl.gov or the City's Purchasing Department at 201 Westward Drive, 1st floor, Miami Springs, Florida 33166. All requests must be accompanied by name, address, phone and fax number.

3. **Question:** Will the City buy the pool direct or through a GC?
3. **Answer:** This is not a direct purchase item.
4. **Question:** For most accuracy in developing our design response, can electronic file of site survey be provided?
4. **Answer:** Yes, see survey attached. - Attachment "A"
5. **Question:** On page 10 of the above-referenced RFP, it states "2 CD copies, one (1) original, and eight (8) copies of this entire document as well as any other pertinent documents, including full size plans for each set must be returned in order for the Proposal to be considered for award."
5. **Answer:** This statement is correct.
6. **Question:** In lieu of submitting 8 sets of full size documents, is it possible to submit 11 x 17 drawings that are folded and part of the binders submitted with the remainder of the information requested?
6. **Answer:** Yes, as long as it is in a readable scale. Font shall be no smaller than what is shown in the bid drawings provided by B&A.
7. **Question:** What is the estimated budget for this project?
7. **Answer:** Not more than 5 million dollars.
8. **Question:** On the specifications of the plans there is an indication of a playground which I believe is on the bottom left hand corner of the drawing is still a specification in the package?
8. **Answer:** Yes, it is still in the package as an alternate. It is a "Wish List" item depending on how the overall budget pricing comes in for the project, then that could be something that could be added.
9. **Question:** Is the playground something that the City would entertain as a direct purchase? And should this be directed to Tammy?
9. **Answer:** Yes, the play ground equipment could be a direct purchase and included in the RFP response. That is one of the items that is in the Design Criteria Package.
10. **Question:** Do you have a list of manufacturers for the slide or is it open spec on that? Could we get other manufacturers?
10. **Answer:** There is a basis of design provided in the document for several of the components listing a manufacturer but an approved equal is acceptable.
11. **Question:** As a follow up to the previous question, do we need to get the approved equal prior to submitting the bid?
11. **Answer:** No approvals will be given prior to bid. Bidder shall provide ample evidence in their bid response showing that they meet or exceed the specifications and basis of design. This information will be evaluated during the bid review.

- 12. Question:** Will the City be providing the drawings in Auto-Cad drawings for us?
- 12. Answer:** Not at this stage. We will be providing the Auto-Cad drawings to the successful bidder.
- 13. Question:** There doesn't seem to be a clear criteria for award. What's the value of aesthetics? What is some of the value that the Design Build brings? There is no clear way for an award. Will you be coming back with a percentage of what is valuable to the City? Really, the price is it, the rest of the items are subjective and the City doesn't avail yourself for the creativity of the design build. You want something aesthetically pleasing, what is that worth to the City versus the cost?
- 13. Answer:** Please see Criteria Scoring attached - Attachment "B".
- 14. Question:** The documents are unclear on a bid bond. So does the City want one submitted with the response? Then it says the Performance and Payment Bond as part of the checklist. So do we put a blank one that we want to use? We wouldn't normally do both at this time until an award.
- 14. Answer:** A bid bond is due with each response for 10% of the project. Regarding the Performance and Payment Bonds, please refer to Pages 42 & 43 of the RFP, section: Contractor Terms and General Conditions, sub-sections 5.2 Performance Bond and 5.3 Payment Bond.
- 15. Question:** Is there a specific form for the final Performance and Payment bonds? Or can we propose our bond form?
- 15. Answer:** Please refer to Page 43 of the RFP, section: Contractor Terms and General Conditions, sub-section 5.4 Forms of Bonds.
- 16. Question:** There is a \$600.00 per day Liquidated Damages for the project and it says 365 days. Will there be an "NTP" and at what point are you expecting that from award, design, permitting? When does that trigger start? Permitting is an unknown. You could do two or three "NTP's". "NTP" for design once the permitting is complete and the second "NTP" for the 365 days.
- 16. Answer:** A "Notice to Proceed" will be issued at the time of award. The project timeline schedule shows this process beginning January 26, 2015 with plans preparation and permitting and ends with the final construction at the end of April 2016, for a total of 460 calendar days. Liquidated damages will begin after 460 calendar days.
- 17. Question:** In the documents, you are looking for alternates or some suggestions. How are they going to be valued? On the pool itself the drawings are very complete. You're not leaving any room for value engineering or for imagination for alternative products. How do you value other than pure price the aquatics and things like that?
- 17. Answer:** All equipment and systems within them are to be considered the basis of design. Alternatives may be considered but the intent of the documents is to create a set of documents that allows for multiple bids of equal quality. The alternates will be reviewed for compliance to bid documents.

18. Question: I understand the pool design of the pool, it's the mechanics of it. It's the filtration system, the over flow gutter. Your engineer is a high quality guy out of California but there are things that Florida does that are different than any other state. You should avail yourself of some of the things that Design Build does. How do you value those suggestions and changes and maybe different filter systems, or chlorination or salt systems? How you value it becomes very difficult for the City and it's consultants to do.

18. Answer: Suggestions and changes will be considered, however, the plans and specifications should be followed as the basis of design.

19. Question: Can we ask for an extension of, instead of this Friday, can it be a week from this Friday because as we digest this, there's going to be a lot of questions and its' not a lot time to come back with questions?

19. Answer: At this time no extension will be granted.

20. Question: What are the deliverables that you are looking for? Are you looking for us to give you back drawings on the architecture and any changes to make a decision? It will be helpful if we had the Auto-Cad drawings.

20. Answer: Please include any information you feel is necessary to show compliance with the design criteria (including plans, renderings, specifications, etc.), and ability to execute this project within time and budget. The proposer also needs to show project aesthetics reflecting what the facility will look like.

The PDF drawings can be rasterized and converted to CAD.

21. Question: How and when will you make a selection of an "Or Equal"? And hopefully its' in a short process to meet that deadline of Dec. 4th. We have to know with enough time if our selection is an "Or Equal".

21. Answer: Please refer to Question and Answer # 11.

22. Question: Is this federally funded? And what about CSB's?

22. Answer: No. Not applicable.

23. Question: What about permit fees?

23. Answer: Please refer to the RFP page 14, section: General Conditions and Instructions, sub-section 13. Permits.

24. Question: I think you may want to consider extending the submission date of December 4th given that by the time that we get any answers from you on the questions and the concerns raised there's going to be practically one or two week's left because Thanksgiving is right around the corner.

24. Answer: This Amendment will be sent out (depending on complexity) November 14th. If any additional questions arise after this Amendment that pertinent to the project then we may consider this request. However, as of now the RFP responses are due December 4th as originally advertised.

- 25. Question:** Could we get copies of the sign in sheets?
25. Answer: Yes, see Sign-in sheets attached - Attachment "C".
- 26. Question:** Alternate No 3. Demolition of existing piles: Need pile layout at existing aquatic facility to properly price the requested add alternate.
26. Answer: There is no information available on the existing piles. Please provide a cost per linear foot for removal of piles.
- 27. Question:** Liquidated Damages of \$600 per day: Per the RFP, If the Design-Builder fails to achieve substantial completion for the entire work by the 365th day from the commencement date as set forth in the contract, then the parties agree that the amount of liquidated damages assessed shall be six hundred (\$600.00) dollars per day for each calendar day which the project is delayed due to a Non-Excusable delay.
 What triggers the Notice to Proceed? The award, design, permits, etc.?
27. Answer: Please refer to Question and Answer # 16
- 28. Question:** Is there an official project budget?
28. Answer: Not more than 5 million dollars.
- 29. Question:** Project availability of Funds: Please clarify; Per the language of the Special Conditions, it is unclear this is a fully funded project.
29. Answer: This project will be fully funded.
- 30. Question:** The Performance & Payment Bond is one of the items on the Proposers Submittal Checklist. Please verify, the P&P Bond is required to be submitted at the same time the successful bidder executes its contract with the City, not at the time of their submittal, as stated in the RFP.
30. Answer: The Performance and Payment Bonds shall be submitted to the City at the same time that the successful bidder executes its contract with the City. Please refer to Pages 42 & 43 of the RFP, section: Contractor Terms and General Conditions, sub-sections 5.2 Performance Bond and 5.3 Payment Bond.
- 31. Question:** Are you able to provide the Architectural and Pool drawings in AutoCAD format before the submittal due date?
31. Answer: No. The Auto-Cad drawings will be provided to the successful bidder.
- 32. Question:** Have the DCP plans for the pool been submitted to DOH for a preliminary Review? If so, has the DOH issued an opinion regarding the following items, as they may not be permissible without an administrative variance from the Department?
 a) The ledge in the pool
 b) The placement of play features within the pool basin
 c) Combining a water activity pool as part of a main pool body.
32. Answer: No. The design build team is responsible for all submittals to governing agencies for compliance with governing codes and permitting.

- 33. Question:** Please advise at what dollar value should the ODP's implementation take effect?
33. Answer: The City has not set a threshold for this. It will be at the City's discretion once bids are received.
- 34. Question:** We would like to request an extension on the RFI deadline until 11/14/2014.
34. Answer: No extension will be granted at this time.
- 35. Question:** We would like to request an extension on the proposal deadline until 12/11/2014.
35. Answer: No extension will be granted at this time.
- 36. Question:** In the RFP Legal Notice page 7 – Proposer Standard Checklist, lists that (1) Original and (8) copies of complete Request for Proposal response including full size copies of plans shall be submitted as part of the Proposal submittal.
1. Please confirm the minimum required dimensions for full size copies of plans and whether (1) original and (8) copies to be submitted also applies to the full size plans
 2. Please clarify what type of information shall be contained at a minimum on the D/B Team plans in addition to the information already provided in the Design Criteria package plans.
- 36. Answer:** 1. Minimum required dimensions of the plans are 11 X 17 and yes the number of copies apply to the full size plans. See question 6 and its response.
2. Please include any information you feel is necessary to assure compliance and ability to execute this project within time and budget. Refer to Question and answer #6.
- 37. Question:** In the RFP Legal Notice page 13 – Item #7 states that award shall be given to the lowest responsive and responsible bidder. On Item #8 the Criteria for Award states that Proposal will be ranked and evaluated by Price, Qualifications, Stability, Government Experience, Project Experience, Deliverable/Responsiveness and Location/Availability and the weight of each Criteria shall be determined by the Professional Services Supervisor and City Staff.
1. Please clarify whether Item #7 or Item #8 shall govern in respect to the Criteria for Award since they are in conflict.
 2. If Item #8 shall govern, we respectfully request that the weight of each Criteria for the RFP ranking to be provided prior to the Bid.
 3. Will Design be ranked as Criteria for Award? If so, under which Criteria listed on Item #8 should Design be included? Please clarify.
- 37. Answer:** Please refer to Question & Answer # 13

- 38. Question:** In the RFP Legal Notice page 37 – Item #3.3 states that starting date included in the Notice to Proceed shall not exceed 30 days after Effective Date of Agreement. Since this is a Design-Build project, we foresee that the project starting date will exceed 30 days after Effective Date of Agreement considering that Permit processing time frame with all agencies over jurisdiction of the project will take longer than 30 days. In addition please clarify what is the construction duration time in calendar days from Notice to Proceed and whether Notice to Proceed will be conditional to the Master Permit approval by all agencies over jurisdiction of the project.
- 38. Answer:** Please refer to Question and Answers #16 and #27.
- 39. Question:** Is Builder's Risk Insurance required for this project? If so, who is responsible for payment of Builder's Risk Insurance fee? Please clarify.
- 39. Answer:** Yes. The contractor.
- 40. Question:** Who is responsible for payment of permanent utilities connection fees (electrical, water, sewer, etc.), Owner or Contractor? Please clarify.
- 40. Answer:** The contractor.
- 41. Question:** Please provide "As-Built" for underground utilities within site area and adjacent roads, if available.
- 41. Answer:** "As-builts" within the site area are not available. Attached please find documentation from Miami-Dade Water and Sewer regarding the nearby utilities. It is the design-build team's responsibility to investigate and coordinate with local agencies regarding the location of underground utilities in and around the property. Attachments "D1, D2, D3, and D4".
- 42. Question:** In the RFP Legal Notice page 78 – Item 14.1 refers to a PURCHASING CARD PROGRAM using VISA network as a method of payment to the Contractor for this project. We are unclear about whether or not Contractor's capability to accept payment from the City with Purchasing Card is Mandatory. If so, there's a fee charged from the Contractor's Bank institution in connection with any card transaction that would increase Contractor's project cost and consequently Contractor's price as opposed to a regular check payment. Please clarify if Contractor must be able to accept purchasing card payment and/or it is the City's intent to fund Contractor through Purchasing Card for this project.
- 42. Answer:** This program is another option of payment and is not a requirement. If the contractor does not accept credit cards as a form of payment then a check will be issued instead. Check runs are bi-weekly whereas payments made by credit card could be made at any time within the two week periods.
- 43. Question:** The project Design Criteria plans provides layouts and dimensions for buildings room sizes, building elevations, pool location and shape, pool deck scoring , pool structure, pool equipment just to name a few, not leaving many project components to be proposed by the Design-Build Team. Please clarify if some or any of the above items may be modified to incorporate some "creativity" by the Design-Build Team.

- 43. Answer:** The design criteria package provides a basis of design for the project. This package incorporates the city's needs with regards to project components such as building room sizes, pool type/shape, etc.. The bidders are encouraged to show "creativity" on their submittal so long as it complies with the requirements of the design criteria documents and applicable codes pertinent to this project. For example, the bidders are to submit building elevations to comply with the City's aesthetics requirements of a modern adobe look for the project.
- 44. Question:** On the Design Narrative page 18 – SECURITY SYSTEMS (INTRUSION DETECTION, CARD READER AND CCTV) states that a complete system shall be provided for the project. However since these items are typically provided by the Owner, we are unclear whether Contractor should include wiring and devices or just empty conduits. Please clarify by whom these items should be provided from and clarify locations for Intrusion Detection and Card Reader devices.
- 44. Answer:** The design-build team shall provide a complete system as per page 18 that will provide adequate security to the interior and exterior of the entire pool facility.
- 45. Question:** Does the toilet connected to the first aid room require to be accessible to a wheelchair bound person compliance with ADA Standards?
- 45. Answer:** No. This a convenience bathroom. There are accessible, ADA compliant bathrooms located throughout the facility.
- 46. Question:** Does the men's toilet (Pool Bathrooms) room require an ADA compliant stall?
- 46. Answer:** No. There are accessible, ADA compliant bathrooms located throughout the facility.
- 47. Question:** Do the Pool Bathrooms require hot water?
- 47. Answer:** No.
- 48. Question:** Will separate toilet facilities for each sex be required for the multi-purpose building?
- 48. Answer:** No.
- 49. Question:** What takes precedence, the design criteria narrative or the pool drawings. Are we "required" to meet what is shown on the pool drawings? Same features? Pool Finishes? Pool Equipment? None of these items are listed in the narrative. Please advise.
- o Design Criteria Narrative:
 1. Page 11 of 20 - Pool Area - Pool coping shall be 12" wide x 2' long precast concrete sections with smooth finish and 3" bullnose - ISSUE: The Pool drawings depict an overflow gutter system, not coping.
 2. Page 13 of 20 - Pool Design Criteria - Man pool depth is noted as 5'-0". It is also noted that "Scuba Lessons" are part of the pool program criteria. ISSUE - Scuba lessons require pool depths that far exceed 5'-0".

49. Answer: Both the narrative and the pool drawings are part of this bid package. There is no precedence of one document over the other. They both contain information pertinent to the project and shall be considered when preparing your bid.

1. Please refer to the pool drawings regarding the overflow gutter system. Disregard note regarding pool coping on page 11 of 20.
2. Scuba lessons can take place in shallower water (such as 5 feet), however the point is well made that normal scuba training and classes take part in water at least 8' in depth and preferably at least 10' in depth. The scuba reference should likely be removed from the project.

50. Question: Bid Form

- What is going to be used to determine the lowest price for selection, the Base Bid or the Base Bid plus Alternates?
 - The bid form indicates approximately 13 Alternates – Are these alternates going to be selected in order and added to the Base bid to determine the lowest bidder or will it be random? This can make a large determination as to who is selected. Typically, if you want Alternate 4A, you would need to select Alternates 1, 2, & 3. Please advise.

50. Answer: The base bid without the alternates will be used to determine the low bidder. The alternates are to be used at the City's discretion if funding for these is available.

51. Question: The design criteria, Page 4 indicates "Cabinetry". Please confirm which rooms require cabinetry? Will cabinetry consist of upper and lower cabinets.

51. Answer: Cabinetry shall be provided in the Ticketing Office (location and configuration as shown on the floor plan) and provide upper and lower cabinets as required by the City on South wall consisting of 13 linear feet of cabinetry. The Catering Room shall also have cabinetry as listed in the design narrative and shall be an L-shaped configuration consisting of 25 linear feet of upper and lower cabinets.

52. Question: What will be an acceptable standard for the service windows at the ticket booth?

52. Answer: Please provide impact resistant (NOA), horizontal sliding aluminum window for the ticket area.

53. Question: Project Drawings show aluminum counters on exterior elevations (AA-4.1) and concrete counters (AA1.01) on plan at the ticketing windows, which is the City's preference?

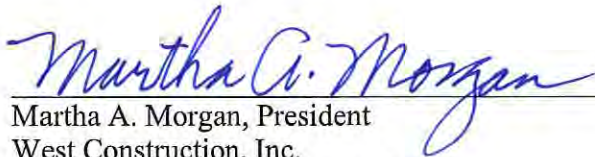
53. Answer: Provide concrete counters at the ticketing windows – not aluminum counters. Provide a stain or clear coat to protect the concrete.

54. Question: Exterior elevations indicate “Painted Aluminum Frame Doors”, project specification section 081113 and design criteria indicate steel doors and frames, which is the City’s preference?

54. Answer: All hollow metal doors and frames are steel. All store fronts and windows are painted aluminum system. All shall have applicable NOA.

Additional attachments with this Amendment:

- Report of Geotechnical Exploration from Nutting Engineers - Attachment "E".
- Dept. of Regulatory and Economics Resources Miami-Dade Permitting and Inspection Center- Notice to Pool Permit Applicants New Procedures relating to Dept. of Health Operating Permit for Public Swimming Pools. **Note:** The design-build team will submit the documentation for permit on behalf of the City. The City will be the holder of the operating permit - Attachment "F".



Martha A. Morgan, President
West Construction, Inc.
West Architecture + Design, LLC
12/11/2014

CITY OF MIAMI SPRINGS



Purchasing Department
201 Westward Drive
Miami Springs, FL 33166-5259
Phone: (305) 805-5035
Fax: (305) 805-5018

Tammy Romero
romerot@miamisprings-fl.gov
Professional Services Supervisor

AMENDMENT 2
Design-Build Project for Miami Springs Aquatic Facility
at 1401 Westward Drive
REQUEST FOR PROPOSAL# 01-14/15

December 2nd, 2014

Request for Proposal # 01-14/15, for Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive is amended as follows:

This addendum is issued to clarify the previously issued request for proposal documents and is hereby made a part of the contract documents. All requirements of the documents not modified herein shall remain in full force and effect as originally set forth.

The following are question(s) and answer(s) from the request for proposals.

- 1. Question:** We respectfully request a Bid extension to December 11th, 2014. Please advise if the Bid due date extension can be granted?
- 1. Answer:** **Yes. Bid opening due date has been extended one additional week to December 11th, 2014 at 2:30PM.**

Martha A. Morgan, President
West Construction, Inc.
West Architecture + Design, LLC
12/11/2014

AIA Document A310 – 2010

Bid Bond

CONTRACTOR:

West Construction, Inc.
318 South Dixie Highway, Suite 4-5
Lake Worth, FL 33460

OWNER:

City of Miami Springs
201 Westward Drive
Miami Springs, FL 33166

BOND AMOUNT:

Ten Percent of Amount Bid (10% of Amount Bid)

SURETY:

AXIS Insurance Company
300 Connell Dr., Suite 8000
Berkeley Heights, NJ 07922

PROJECT: Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive;
Request for Proposal # 01-14/15

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

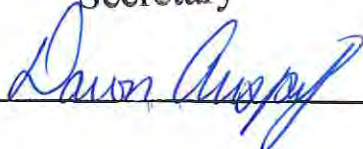
Signed and sealed this 11th day of December, 2014.

Witness/Attest:

By:


Matthew F. West
Secretary

By:




West Construction, Inc.

By:


MARTHA A. MORGAN
PRESIDENT

AXIS Insurance Company

By:


Warren M. Alter, Attorney-in-fact

This document conforms to AIA Document A310 - 2010 BID BOND. THE AMERICAN INSTITUTE OF ARCHITECTS, 1735 NY AVE NW, WASHINGTON, DC 20006.

POWER OF ATTORNEY

AXIN - 1680

Know All Men by These Presents: That AXIS Insurance Company, an Illinois property and casualty company, (the "Company") does hereby appoint:

Warren M. Alter; David T. Satine; and Dawn Auspitz of Miami Lakes, FL

as its true and lawful Attorney(s)-In-Fact, to make, execute, seal and deliver for and on its behalf as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf. The Company may revoke this appointment at any time.

EXCEPTION: NO AUTHORITY is granted to make, execute, seal and deliver bonds or undertakings that guarantee the payment or collection of any promissory note, check, draft or letter of credit.

This Power of Attorney is signed, sealed and certified under and by the authority of resolutions adopted by unanimous written consent of the Board of Directors of the Company on July 12, 2013:

RESOLVED, That any authorized Vice President, Surety, acting singly shall have the power and authority to appoint and revoke attorneys-in-fact to make, execute, seal and deliver for and on behalf of the Company, as surety, bonds and undertakings, such documents to be valid as though executed by the Company on its own behalf.

In Witness Whereof, AXIS Insurance Company has caused this instrument to be signed and its corporate seal to be affixed by a duly elected and qualified officer, this 28th day of May, 2014.

Attested and Certified
AXIS Insurance Company

By: Richard Zarandona

[Seal]

Printed Name: Richard Zarandona

Title: Vice President, Surety

STATE OF
COUNTY OF

Before me personally came Richard Zarandona, Vice President, Surety of AXIS Insurance Company to me known to be the individual and officer described herein, who acknowledged that they being duly authorized signed, sealed with the corporate seal and delivered the foregoing instrument by the authority and direction of said Company.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed my official seal.

Matthew K. Canfield
Matthew K. Canfield, Notary Public - State of New Jersey



CERTIFICATION

I, David Pesce, Assistant Secretary of AXIS Insurance Company, do hereby certify that the attached Power of Attorney dated May 28th, 2014 on behalf of the person(s) as listed above is a true and correct copy and the same has been in full force and effect since the date thereof and is in full force and effect on the date of this certificate; and I do further certify that the said Richard Zarandona, who executed the Power of Attorney, was a duly elected Vice President, Surety of AXIS Insurance Company on the date of the execution of the attached Power of Attorney.

IN TESTIMONY WHEREOF, I have hereunto set my hand and affixed the corporate seal of AXIS Insurance Company on

this the 11th day of December, 20 14

By: David Pesce

[Seal]

Printed Name: David Pesce

Title: Assistant Secretary

FIVE YEAR EXPERIENCE

TAB F

| | | |
|--|---|-----------------------|
| Company Name: City of Pompano Beach | Contact Name: Mark Beaudreau, Recreation Program Administrator | |
| Contract Amount: \$3.9 Million | Phone # 954-786-4191 | Fax # 954-786-4113 |
| Email: mark.beaudreau@copbfl.com | | |





RICK SCOTT, GOVERNOR KEN LAWSON, SECRETARY

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

| | |
|-----------------------|--|
| LICENSE NUMBER | |
| CBC057038 | |

The **BUILDING CONTRACTOR**
 Named below IS CERTIFIED
 Under the provisions of Chapter 489 FS.
 Expiration date: AUG 31, 2016

MORGAN, MARTHA ANN
 WEST CONSTRUCTION INC
 318 SOUTH DIXIE HWY.
 SUITE 4-5
 LAKE WORTH FL 33460

ISSUED: 08/25/2014 DISPLAY AS REQUIRED BY LAW SEQ # L1408250001626



RICK SCOTT, GOVERNOR KEN LAWSON, SECRETARY

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

| | |
|-----------------------|--|
| LICENSE NUMBER | |
| CGC1516626 | |

The **GENERAL CONTRACTOR**
 Named below IS CERTIFIED
 Under the provisions of Chapter 489 FS.
 Expiration date: AUG 31, 2016

WEST, MATTHEW FIELDEN
 WEST CONSTRUCTION INC
 318 S DIXIE HWY
 STE 4-5
 LAKE WORTH FL 33460





ISSUED: 07/10/2014 DISPLAY AS REQUIRED BY LAW SEQ # L1407100001159

City of Lake Worth Business License 2014 - 2015

BUSINESS NUMBER: 0013861 **NON TRANSFERABLE**
BUSINESS NAME: WEST CONSTRUCTION INC
BUSINESS ADDRESS: 318 S DIXIE HWY 4, LAKE WORTH FL 33460

| LICENSE NUMBER | CLASSIFICATION | DESCRIPTION |
|----------------|----------------|--|
| 15-00024966 | 90.B28 | BUSINESS OFFICE GENERAL (BTR) GENERAL CONTRACTOR |



EXPIRES
SEPTEMBER 30th
2015

City of Lake Worth Business License Division
 1900 2nd Avenue North • Lake Worth, Florida 33461



STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF ARCHITECTURE & INTERIOR DESIGN

| | |
|-----------------------|--|
| LICENSE NUMBER | |
| AA26001503 | |



The ARCHITECT CORPORATION
 Named below IS CERTIFIED
 Under the provisions of Chapter 481 FS.
 Expiration date: FEB 28, 2015


WEST ARCHITECTURE + DESIGN LLC
 318 SOUTH DIXIE HIGHWAY
 STE 4-5
 LAKE WORTH FL 33460



RICK SCOTT
GOVERNOR
ISSUED: 02/27/2013 SEQ # L1302270001685
DISPLAY AS REQUIRED BY LAW
KEN LAWSON
SECRETARY


STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF ARCHITECTURE & INTERIOR DESIGN

| | |
|-----------------------|--|
| LICENSE NUMBER | |
| AR93859 | |



The ARCHITECT
 Named below IS LICENSED
 Under the provisions of Chapter 481 FS.
 Expiration date: FEB 28, 2015

WEST, MATTHEW FIELDEN
 318 S DIXIE HWY
 STE 4-5
 LAKE WORTH FL 33460



RICK SCOTT
GOVERNOR
ISSUED: 02/27/2013 SEQ # L1302270001584
DISPLAY AS REQUIRED BY LAW
KEN LAWSON
SECRETARY

City of Lake Worth Business License 2014 - 2015

NON TRANSFERABLE

BUSINESS NUMBER: 0016201
 BUSINESS NAME: WEST ARCHITECTURE & DESIGN LLC
 BUSINESS ADDRESS: 318 S DIXIE HWY 4, LAKE WORTH FL 33460


| LICENSE NUMBER | CLASSIFICATION | DESCRIPTION |
|----------------|----------------|---|
| 15-00034640 | 80.0 | PROFESSIONALS (BTR) INSURANCE COMPANY |
| 15-00034641 | 90.B28 | BUSINESS OFFICE GENERAL (BTR) UNITS 4-5 |
| 15-00040442 | UC | USE & OCCUPANCY COMMERCIAL/INDUSTRIAL ARCHITECT |

EXPIRES
SEPTEMBER 30th
2015



City of Lake Worth Business License Division
 1900 2nd Avenue North • Lake Worth, Florida 33461



 **ANNE M. GANNON**
 CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County
 Serving you.

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264


****LOCATED AT****
 318 S DIXIE HWY #4-5
 LAKE WORTH, FL 33460-0000

| TYPE OF BUSINESS | OWNER | CERTIFICATION # | RECEIPT #/DATE PAID | AMT PAID | BILL # |
|--------------------------------|-------------------|-----------------|-----------------------|----------|-----------|
| 23-0103 CW BUILDING CONTRACTOR | MORGAN MARTHA ANN | CBC05703E | U14.753987 - 09/22/14 | \$264.60 | B40129766 |

This document is valid only when received by the Tax Collector's Office.

B2 - 123

WEST CONSTRUCTION INC
 WEST CONSTRUCTION INC
 318 S DIXIE HWY #4-5
 LAKE WORTH, FL 33460-4452



STATE OF FLORIDA
 PALM BEACH COUNTY
2014/2015 LOCAL BUSINESS TAX RECEIPT
LBTR Number: 201002725
EXPIRES: SEPTEMBER 30, 2015

This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.

 **ANNE M. GANNON**
 CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County
 Serving you.

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264

****LOCATED AT****
 318 S DIXIE HWY #4-5
 LAKE WORTH, FL 33460-0000

| TYPE OF BUSINESS | OWNER | CERTIFICATION # | RECEIPT #/DATE PAID | AMT PAID | BILL # |
|-----------------------------|-------------------|-----------------|-----------------------|----------|-----------|
| 23-0153 BUILDING CONTRACTOR | MORGAN MARTHA ANN | CBC05703E | U14.753987 - 09/22/14 | \$27.50 | B40129755 |

This document is valid only when received by the Tax Collector's Office.


B3 - 123

WEST CONSTRUCTION INC
 WEST CONSTRUCTION INC
 318 S DIXIE HWY #4-5
 LAKE WORTH, FL 33460-4452



STATE OF FLORIDA
 PALM BEACH COUNTY
2014/2015 LOCAL BUSINESS TAX RECEIPT
LBTR Number: 201002726
EXPIRES: SEPTEMBER 30, 2015

This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.

 **ANNE M. GANNON**
 CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County
 Serving you.

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264


****LOCATED AT****
 318 S DIXIE HWY #4-5
 LAKE WORTH, FL 33460-0000

| TYPE OF BUSINESS | OWNER | CERTIFICATION # | RECEIPT #/DATE PAID | AMT PAID | BILL # |
|-------------------------------|----------------|-----------------|-----------------------|----------|-----------|
| 23-0102 CW GENERAL CONTRACTOR | WEST MATTHEW F | CGC161602E | U14.753987 - 09/22/14 | \$369.00 | B40129757 |

This document is valid only when received by the Tax Collector's Office.


B1 - 123

WEST CONSTRUCTION INC
 WEST CONSTRUCTION INC
 318 S DIXIE HWY #4-5
 LAKE WORTH, FL 33460-4452



STATE OF FLORIDA
 PALM BEACH COUNTY
2014/2015 LOCAL BUSINESS TAX RECEIPT
LBTR Number: 200911377
EXPIRES: SEPTEMBER 30, 2015

This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.

 **ANNE M. GANNON**
 CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County
 Serving you.

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264


****LOCATED AT****
 318 S DIXIE HWY #4-5
 LAKE WORTH, FL 33460-0000

| TYPE OF BUSINESS | OWNER | CERTIFICATION # | RECEIPT #/DATE PAID | AMT PAID | BILL # |
|----------------------------|----------------|-----------------|-----------------------|----------|-----------|
| 23-0051 GENERAL CONTRACTOR | WEST MATTHEW F | CGC161852B | U14.753987 - 09/22/14 | \$27.50 | B40129756 |

This document is valid only when received by the Tax Collector's Office.

B3 - 122

WEST CONSTRUCTION INC
 WEST CONSTRUCTION INC
 318 S DIXIE HWY #4-5
 LAKE WORTH, FL 33460-4452



STATE OF FLORIDA
 PALM BEACH COUNTY
2014/2015 LOCAL BUSINESS TAX RECEIPT
LBTR Number: 200911376
EXPIRES: SEPTEMBER 30, 2015

This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and MUST be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.



 **ANNE M. GANNON**
 CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County
 Serving you.

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264

****LOCATED AT****
 318 S DIXIE HIGHWAY SUITE 4-5
 LAKE WORTH, FL 33460-4452

| TYPE OF BUSINESS | OWNER | CERTIFICATION # | RECEIPT #/DATE PAID | AMT PAID | BILL # |
|-------------------|----------------|-----------------|------------------------|----------|-----------|
| 54-0051 ARCHITECT | WEST MATTHEW F | AF03859 | B14.1480947 - 09/11/14 | \$33.00 | B40155658 |

This document is valid only when received by the Tax Collector's Office.

STATE OF FLORIDA
PALM BEACH COUNTY
2014/2015 LOCAL BUSINESS TAX RECEIPT

LBTR Number: 201005982
EXPIRES: SEPTEMBER 30, 2015

WEST ARCHITECTURE + DESIGN LLC
 WEST ARCHITECTURE + DESIGN LLC
 318 S DIXIE HIGHWAY SUITE 4-5
 LAKE WORTH, FL 33460-4452

B1 - 579



This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and **MUST** be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.

 **ANNE M. GANNON**
 CONSTITUTIONAL TAX COLLECTOR
Serving Palm Beach County
 Serving you.

P.O. Box 3353, West Palm Beach, FL 33402-3353
 www.pbctax.com Tel: (561) 355-2264

****LOCATED AT****
 318 S DIXIE HIGHWAY SUITE 4-5
 LAKE WORTH, FL 33460-4452

| TYPE OF BUSINESS | OWNER | CERTIFICATION # | RECEIPT #/DATE PAID | AMT PAID | BILL # |
|--|----------------|-----------------|------------------------|----------|-----------|
| 54-0020 RESIDENTIAL ARCHITECTURAL DESIGN | WEST MATTHEW F | | B14.1480944 - 09/11/14 | \$33.00 | B40155667 |

This document is valid only when received by the Tax Collector's Office.

STATE OF FLORIDA
PALM BEACH COUNTY
2014/2015 LOCAL BUSINESS TAX RECEIPT

LBTR Number: 201005983
EXPIRES: SEPTEMBER 30, 2015

WEST ARCHITECTURE + DESIGN LLC
 WEST ARCHITECTURE + DESIGN LLC
 318 S DIXIE HIGHWAY SUITE 4-5
 LAKE WORTH, FL 33460-4452

B2 - 579



This receipt grants the privilege of engaging in or managing any business profession or occupation within its jurisdiction and **MUST** be conspicuously displayed at the place of business and in such a manner as to be open to the view of the public.



State of Florida Department of State

I certify from the records of this office that WEST CONSTRUCTION, INC. is a corporation organized under the laws of the State of Florida, filed on December 16, 1977.

The document number of this corporation is 555487.

I further certify that said corporation has paid all fees due this office through December 31, 2014, that its most recent annual report/uniform business report was filed on January 24, 2014, and its status is active.

I further certify that said corporation has not filed Articles of Dissolution.

*Given under my hand and the
Great Seal of the State of Florida
at Tallahassee, the Capital, this
the Twenty-fourth day of January,
2014*



Ken Detjmer
Secretary of State

Authentication ID: CC4342064389

To authenticate this certificate, visit the following site, enter this ID, and then follow the instructions displayed.

<https://efile.sunbiz.org/certauthver.html>



State of Florida Department of State

I certify from the records of this office that WEST ARCHITECTURE + DESIGN, LLC, is a limited liability company organized under the laws of the State of Florida, filed on September 20, 2007, effective September 20, 2007.

The document number of this company is L07000096199.

I further certify that said company has paid all fees due this office through December 31, 2014, that its most recent annual report was filed on January 24, 2014, and its status is active.

*Given under my hand and the
Great Seal of the State of Florida
at Tallahassee, the Capital, this
the Twenty-fourth day of January,
2014*



Ken Detjen
Secretary of State

Authentication ID: CC4135734934

To authenticate this certificate, visit the following site, enter this ID, and then follow the instructions displayed.

<https://efile.sunbiz.org/certauthver.html>





LUNACON
CONSTRUCTION GROUP



MIAMI SPRINGS
AQUATIC CENTER



CartyArchitecture

Tab (A) Title Page

- Letter of Submittal

Tab (B) Proposer's Qualification - Contractor's Questionnaire

(B.1) Design Build Team, Organizational Structure and Philosophy

- Team Profile
- Key personnel Organizational Chart
- Proposed Team General Qualifications Table
- Design-Build Team Resumes
- Professional Licenses and Certifications

(B.2) Government/Municipal Experience

(B.3) Aquatic Facilities Experience

(B.4) Design-Build Experience

Tab (C) Capabilities and Finances

(C.1) Deliverable/Responsiveness

(C.2) Approach and Methodology

- Design Approach
- Schedule
- Site Logistics and Phasing

(C.3) Budget Control / Cost Estimating

(C.4) Financial Stability

(C.5) Location / Availability

(C.6) Equipment List

Tab (D) Project Drawings and Specifications

Tab (E) Proposal Pricing

Tab (F) Required Forms - Affidavits

(F.1) Insurance(s)

(F.2) Bonds

(F.3) Acknowledgement of Addendums

Proposed Project: Design Build Project for Miami Springs Aquatic Facility
at 1401 Westward Drive

Submittal Deadline Date: December 11, 2014

Method of Delivery: Hand-Delivered

Contents: 1 original | 8 copies | 2 CDs

Proposer Contact Info: Francisco A. Regueyra
Director of Business Development
Lunacon Construction Group, Corp.
16890 South Dixie Highway
Miami, Florida 33157
Office: 786-293-0035 ext. 118
Fax: 786-293-0333
Cell: 305-978-6374
Email: fregueyra@lunaconcorp.com

11 December 2014

The City of Miami Springs
201 Westward Drive
Miami Springs, FL 33166-5035

Re: *Request for Proposals No. 01-14 / 15
Design Build Project for Miami Springs Aquatic Facility*

Dear Evaluation/Selection Committee:

Lunacon Construction Company, Inc., in association with Carty Architecture and Alleguez Architecture, is pleased to submit the enclosed proposal in response to the City of Miami Springs Solicitation No. 01-14/15 **Design Build Project for Miami Springs Aquatic Facility**. The Lunacon Design-Build Team has the capability to perform the services outlined in the Scope of Services, and we are committed to providing quality design and construction and delivering to the City of Miami Springs a successful project on time and on budget. We have a clear understanding of the impact that our work will have on the footprint of the Miami Springs Community and have much regard for the significance of the resulting final product. *As such, our team has provided the City of Miami Springs, in our Base Bid Price, 6 Lanes in lieu of the 4 lane criteria.*

Lunacon's approach to each project that we pursue is to assemble the best team of professionals who are highly skilled in their respective fields. We have established our team for this Project not only based on their qualifications, but also upon their dedication to implementing the following objectives for the successful delivery of the Miami Springs Aquatic Center Facility:

- **Design-Build Experience:** The Lunacon Team members have vast experience in the Design-Build delivery method. Together, we have completed over \$500M in projects that have been on time and within budget. The development of the Design/Build package will require a team who has the right experience and the ability to build consensus and work within a team for the common end goal.
- **Strategic Partnerships:** We understand the importance of becoming an extension of the City's staff and will implement team strategies that enhance the performance of each team member throughout the duration of the Project. Our team will serve to enhance the goals of the City to offer the best residential environment.
- **Remaining Flexible:** The City of Miami Springs can rely on our team to adjust, adapt or rearrange schedules and personnel for projects according to the City's priorities and any unforeseen conditions that may arise.
- **Aquatic Center Experts:** Our Design partner, Carty Architecture and Alleguez Architecture, brings together two local woman owned firms; a prominent award winning architectural firm with extensive experience in recreation, aquatic and athletic buildings and an architectural firm with experience in athletic and community facilities as well as Design Build Projects. Both firms have worked with many

different governmental agencies. Additionally, each of the joint venture firms is less than 6 miles away from the project site; a 15 minute car ride.

- **Your Team:** We have assembled a team of highly qualified, professionals, with extensive experience building projects similar to this facility. Our staff is friendly, serviceable and ready to build a long-term partnership with the City of Miami Springs. This clear value added benefit will be enhanced by our team members, which have residents that reside in eth City of Miami Springs. Please see resumes of project team staff.

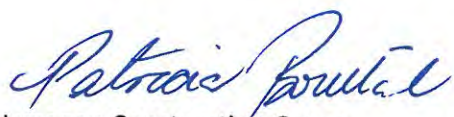
The Lunacon Team shares the mission of delivering measurable value and quality to our clients. We approach every project with conviction, strong moral character, mutual respect, and commitment to serve as hallmarks of the Community. Our team of professionals takes pride in the work we produce. We hold ourselves to a high standard for performance and ethics, and approach every task with the objective of *Delivering an OUTSTANDING Construction Experience to our Clients. Our Team understands that there is no option but to deliver a safe project, on time and within budget, at the highest level of quality to the client.*

Please note the following contact information for the person in connection with this proposal:

Francisco A. Regueyra, Director Business Development
Office: 786-293-0035 ext. 118
Fax: 786-293-0333
Cell: 305-978-6374
E-mail: fregueyra@lunaconcorp.com

We are looking forward to a favorable response to our structured approach as outlined in our submittal. The Lunacon Construction Team is confident in our capabilities to deliver a magnificent Aquatic Center Facility and equally excited about the opportunity to work with the City of Miami Springs.

Sincerely,



Lunacon Construction Group
Patricia Bonilla
President / CEO



Alleguez Architecture, Inc.
Ana Alleguez, R.A. – A.I.A.
Principal-in-Charge



Carty Architecture
Ana Alleguez, R.A. – A.I.A.
Principal-in-Charge

11 December 2014

The City of Miami Springs
201 Westward Drive
Miami Springs, FL 33166-5035

Re: *Request for Proposals No. 01-14 / 15
Design Build Project for Miami Springs Aquatic Facility*

Dear Evaluation/Selection Committee:

Lunacon Construction Company, Inc., in association with Carty Architecture and Alleguez Architecture, is pleased to submit the enclosed proposal in response to the City of Miami Springs Solicitation No. 01-14/15 **Design Build Project for Miami Springs Aquatic Facility**. The Lunacon Design-Build Team has the capability to perform the services outlined in the Scope of Services, and we are committed to providing quality design and construction and delivering to the City of Miami Springs a successful project on time and on budget. We have a clear understanding of the impact that our work will have on the footprint of the Miami Springs Community and have much regard for the significance of the resulting final product. *As such, our team has provided the City of Miami Springs, in our Base Bid Price, 6 Lanes in lieu of the 4 lane criteria.*

Lunacon's approach to each project that we pursue is to assemble the best team of professionals who are highly skilled in their respective fields. We have established our team for this Project not only based on their qualifications, but also upon their dedication to implementing the following objectives for the successful delivery of the Miami Springs Aquatic Center Facility:

- **Design-Build Experience:** The Lunacon Team members have vast experience in the Design-Build delivery method. Together, we have completed over \$500M in projects that have been on time and within budget. The development of the Design/Build package will require a team who has the right experience and the ability to build consensus and work within a team for the common end goal.
- **Strategic Partnerships:** We understand the importance of becoming an extension of the City's staff and will implement team strategies that enhance the performance of each team member throughout the duration of the Project. Our team will serve to enhance the goals of the City to offer the best residential environment.
- **Remaining Flexible:** The City of Miami Springs can rely on our team to adjust, adapt or rearrange schedules and personnel for projects according to the City's priorities and any unforeseen conditions that may arise.
- **Aquatic Center Experts:** Our Design partner, Carty Architecture and Alleguez Architecture, brings together two local woman owned firms; a prominent award winning architectural firm with extensive experience in recreation, aquatic and athletic buildings and an architectural firm with experience in athletic and community facilities as well as Design Build Projects. Both firms have worked with many

different governmental agencies. Additionally, each of the joint venture firms is less than 6 miles away from the project site; a 15 minute car ride.

- **Your Team:** We have assembled a team of highly qualified, professionals, with extensive experience building projects similar to this facility. Our staff is friendly, serviceable and ready to build a long-term partnership with the City of Miami Springs. This clear value added benefit will be enhanced by our team members, which have residents that reside in eth City of Miami Springs. Please see resumes of project team staff.

The Lunacon Team shares the mission of delivering measurable value and quality to our clients. We approach every project with conviction, strong moral character, mutual respect, and commitment to serve as hallmarks of the Community. Our team of professionals takes pride in the work we produce. We hold ourselves to a high standard for performance and ethics, and approach every task with the objective of *Delivering an OUTSTANDING Construction Experience to our Clients. Our Team understands that there is no option but to deliver a safe project, on time and within budget, at the highest level of quality to the client.*

Please note the following contact information for the person in connection with this proposal:

Francisco A. Regueyra, Director Business Development
Office: 786-293-0035 ext. 118
Fax: 786-293-0333
Cell: 305-978-6374
E-mail: fregueyra@lunaconcorp.com

We are looking forward to a favorable response to our structured approach as outlined in our submittal. The Lunacon Construction Team is confident in our capabilities to deliver a magnificent Aquatic Center Facility and equally excited about the opportunity to work with the City of Miami Springs.

Sincerely,



Alleguez Architecture, Inc.
Ana Alleguez, R.A. – A.I.A.
Principal-in-Charge



Carty Architecture
Ana Alleguez, R.A. – A.I.A.
Principal-in-Charge

Lunacon Construction Group
Patricia Bonilla
President / CEO



Tab (B) Proposer's Qualification - Contractor's Questionnaire

(B.1) Design Build Team, Organizational Structure and Philosophy


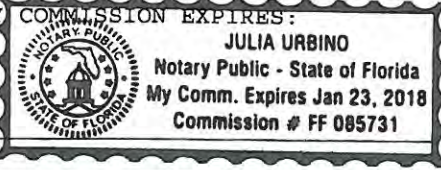

- Team Profile
- Key personnel Organizational Chart
- Proposed Team General Qualifications Table
- Design-Build Team Resumes
- Professional Licenses and Certifications





City of Miami Springs
 201 Westward Drive
 Miami Springs, Florida 33166-5259

REQUEST FOR PROPOSAL # 01-14/15
Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive
 Proposals to be opened in the Council Chambers, 201 Westward Dr., Miami Springs, FL 33166
 at 2:30 P.M. on Thursday, December 4th, 2014

| | |
|---|--|
| Vendor: Lunacon Construction Group, Corp. Lunacon Construction Group, Corp. | General Identification or Social Security Number: 37-1535403 |
| 16890 South Dixie Highway 16890 South Dixie Highway | Payment Terms: Bi-Weekly The City of Miami Springs' faster and preferred method of payment is by way of Visa (P-card). <input checked="" type="checkbox"/> X Do you accept this form of payment: Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> X |
| City - State - Zip Code: Miami, Florida 33157 Miami, Florida 33157 | Delivery in Days After Receipt of Purchase Order: 460 days 460 days |
| (Area Code) Telephone Number: 786-293-0035 786-293-0035 | (Area Code) Facsimile Number: 786-293-0333 786-293-0333 |
| E-Mail Address: fregueyra@lunaconcorp.com fregueyra@lunaconcorp.com | Initial appropriate box to acknowledge amendment(s), if necessary. <input checked="" type="checkbox"/> PB Amendment #1 <input type="checkbox"/> PB Amendment #2 <input type="checkbox"/> Amendment #3 |
| I certify that this Proposal is made without prior understanding, agreement, or connection with any corporation, firm, or person submitting a Proposal for the same materials, supplies, or equipment, and is in all respects fair and without collusion or fraud. I agree to abide by all conditions of this Proposal and certify that I am authorized to sign for, and commit, the vendor. |  Authorized Signature (Manual) Patricia Bonilla, President Authorized Signature (Typed or Printed Title) |
| STATE OF: <u>Florida</u> COUNTY OF: <u>Miami Dade</u> BEFORE ME, the undersigned authority, this document was acknowledged by <u>Patricia Bonilla</u> who: <input checked="" type="checkbox"/> is personally known to me, or <input type="checkbox"/> produced identification _____ who, after being duly sworn by me, states that he/she has executed this document for the purposes herein expressed. SWORN TO AND SUBSCRIBED before me this <u>4</u> day of <u>December</u> , 2014. <div style="display: flex; justify-content: space-between;"> <div data-bbox="186 1585 657 1753"> <p>MY COMMISSION EXPIRES:</p>  <p>JULIA URBINO Notary Public - State of Florida My Comm. Expires Jan 23, 2018 Commission # FF 085731</p> </div> <div data-bbox="722 1564 1185 1753"> <p> NOTARY PUBLIC, State of Florida At Large <u>Julia Urbino</u> Printed Name</p> </div> </div> | |

N/A

STATEMENT OF NO RESPONSE

Some recipients of this solicitation may elect not to respond for a variety of reasons. The City of Miami Springs is very interested in learning whether certain conditions exist with our solicitation process which may discourage responses. Accordingly, if you elect not to respond with an offer to this solicitation, we ask that you indicate the reason below and either fax this form to 305-805-5018 or mail the form to:

City of Miami Springs
Finance Department
201 Westward Drive
Miami Springs, FL 33166-5259

- We do not offer this product/service or an equivalent.
- Our schedule would not permit us to perform
- Insufficient time to respond to solicitation.
- Unable to meet specifications.
- Specifications not clear.
- Unable to meet bond and/or insurance requirements.
- Solicitation addressed incorrectly.
- Specifications "too tight"
(i.e. geared to specific brand or manufacturer).

If an explanation is appropriate, you may include it below or in an attached letter.

Due to the large number of companies listed on the City's vendor list and the cost of mailing, it is necessary to delete the names of persons or businesses who fail to respond to three (3) consecutive solicitations without giving a reason or requesting retention on our vendor list.

Do you desire future solicitations? Yes No

Name: _____ Title: _____

Company: _____

Address: _____

Telephone: _____ Fax: _____

CONTRACTOR'S QUESTIONNAIRE

Company Name: Lunacon Construction Group, Corp.

Principal Officer: Patricia Bonilla, President

Company Address: 16890 South Dixie Highway, Miami, Florida 33157

Years in Business under Present Name: 7

Primary type of work your firm engages in: Construction Services, Building & Contractors Services

Years experience in your primary type of work: 7

List other types of work your firm engages in:

Light Excavation, Concrete foundations, Concrete, Masonry, Rough carpentry, Cleanup, Demolition, Temporary protection, Light concrete finishing

Does your organization have a current occupational license(s) and certificate(s) of competency entitling it to do the work contemplated in this Contract? Yes (see attached)

Include copies of licenses and certificates with proposal.

Does your organization currently accept Visa (P-Cards) as form of payment? Yes No

Demonstrate your capacity to perform work of this magnitude by indicating five (5) projects that are equal to or greater in scope specifically for any experience/occasion in/of providing likes services to municipal or county governments within the past five (5) years.

| | | | |
|---|--|------------------------------------|-------|
| Company Name: US Army Corps of Engineers | | Contact Name: Jonathan B. Silas | |
| Contract Amount: \$2,911,474 | | Phone # 601-631-5715 | Fax # |
| HVAC Reset Vicksburg | | | |
| Email: Jonathan.B.Silas@usace.army.mil | | | |

| | | | |
|---|--|---|-----------------------|
| Company Name: Cape Canaveral Air Force Station | | Contact Name: Carl Davison, Jr. Civ- ACO | |
| Contract Amount: \$4,000,000 | | Phone # 321-867-3514 | Fax # 321-867-2825 |
| Saber #1 | | | |
| Email: Carl.h.davison@nasa.gov | | | |

| | | |
|---|--|-------|
| Company Name: Cape Canaveral Air Station | Contact Name: Linda Brantley, Contracting Officer | |
| Contract Amount: \$4,000,000 Saber #2 | Phone # 321-853-0904 | Fax # |
| Email: Linda.brantley@us.af.mil | | |

| | | |
|---|--|-------|
| Company Name: US Postal Service | Contact Name: Bruce R. Tidmore Project Manager | |
| Contract Amount: \$1,522,226 USPS Snapper Creek Branch | Phone # 214-819-7242 | Fax # |
| Email: bruce.r.tidmore@usps.gov | | |

Have you ever failed to complete any work awarded to you? No

If so, where and why? _____

Has any officer or partner of your organization ever failed to complete a contract handled in his own name? No

If so, state name of individual, name of owner, and reason thereof:

What equipment do you own that is available for the proposed work.

See Equipment List Attached

What Bank or Banks have you arranged to do business with during the course of the Contract should it be awarded to you? _____

Suntrust Bank

List the names, addresses, and phone numbers of all subcontractors which you may utilize to perform this contract. No change in subcontractors, as listed, will be allowed without the written approval of the City of Miami Springs.

See Proposed Team General Qualifications Attached

Local Business Tax Receipt

Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY



6164099

BUSINESS NAME/LOCATION
LUNACON ENGINEERING GROUP CORP
16890 S DIXIE HWY
MIAMI FL 33157

RECEIPT NO.
RENEWAL
6428122

EXPIRES
SEPTEMBER 30, 2015

Must be displayed at place of business
Pursuant to County Code
Chapter 8A - Art. 9 & 10

OWNER
LUNACON ENGINEERING GROUP CORP
Worker(s) 4

SEC. TYPE OF BUSINESS
196 GENERAL BUILDING CONTRACTOR
CGC1514246

PAYMENT RECEIVED
BY TAX COLLECTOR
\$75.00 07/14/2014
ECHECK-14-139521

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.

The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.

For more information, visit www.miamidade.gov/taxcollector

Local Business Tax Receipt

Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY



6164099

BUSINESS NAME/LOCATION
LUNACON ENGINEERING GROUP CORP
16890 S DIXIE HWY
MIAMI FL 33157

RECEIPT NO.
RENEWAL
7007537

EXPIRES
SEPTEMBER 30, 2015

Must be displayed at place of business
Pursuant to County Code
Chapter 8A - Art. 9 & 10

OWNER
LUNACON ENGINEERING GROUP CORP
Employee(s) 1

SEC. TYPE OF BUSINESS
213 SERVICE BUSINESS

PAYMENT RECEIVED
BY TAX COLLECTOR
\$75.00 07/14/2014
ECHECK-14-139521

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.

The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.

For more information, visit www.miamidade.gov/taxcollector

SPECIAL CONDITIONS

SCOPE The intent of these specifications is to set forth and convey to prospective proposers this **Request for Proposal for a Design Build Project for Miami Springs Aquatic Facility** as desired by the City of Miami Springs.

TERM OF CONTRACT The City's Fiscal year begins October 1 and ends September 30 of the following calendar year. When a Contract's term extends beyond the fiscal year in which the Contract commences, the City will issue a Purchase Order to cover its needs for the balance of that fiscal year. At the beginning of each fiscal year thereafter, a purchase order will be issued to correspond with that year. In the final year of the contract, a purchase order will be issued for the remaining months of the contract. Issuance of a new purchase order shall be subject to the availability of budgeted funds. If funds are not appropriated for continuance of a term contract to completion, cancellation may be effected upon thirty (30) days notice.

| | |
|--------|--------|
| Accept | Reject |
| X | |

TERMINATION OF CONTRACT The City of Miami Springs reserves the right to terminate this contract if the successful proposer fails to perform satisfactorily in all areas of service, availability, delivery, quality and any other area covered by these specifications. In the event of such cancellation, the City additionally reserves the right to make the award for the balance of the contract period to the next higher proposer.

FAILURE TO COMPLY Any failure on the part of a responder to provide the documentation set forth in the Design Criteria specifications could, in and of itself, constitute a determination that the proposal is non-responsive and therefore disqualified.

TEAM PROFILE

For the City of Miami Springs Design-Build Project for Miami Springs Aquatic Facility, we have assembled the team of **Lunacon Construction Group**, in association with **Carty Architecture and Alleguez Architecture** to respond to your solicitation. The team developed for this project has experience working together on various types of projects. Having a designer of record that has worked with the construction team is critical to the success of the project. Since we have worked together before, we understand what to expect from each other, have developed working relationships and strive to create the best end product that exceeds the expectations of our clients.

Not only are the design and construction professionals familiar with each other, but our previous experience on similar projects will add value to this project. We understand your preferences, requirements and standards, which will save time during design and construction. Our ability to comply with the Design Criteria, to successfully execute the project and turnover the project early sets our team apart from the market. The Lunacon Team assembled is a goal-



oriented and self-motivated team of individuals with years of Design-Build experience that is ready to work with also well versed in the Design Build process and ready to work with the city of Miami Springs and Bromello Ajamil for a successful project.

Lunacon Construction Group is an 8(a) Hispanic Women-Owned organization

that provides a broad range of construction services through a “hands-on” approach, dedication and the development of a great level of trustworthiness on the client’s behalf. With more than 48 years of collective experience in the construction industry, Lunacon’s Principals have successfully managed projects valued in excess of \$400M, including federal projects with the Air Force Base, US Army Corps of Engineers, USDA in Miami, City of Miami to name a few.

Whether it’s building from the ground up or renovating an existing facility, Lunacon Construction is focused on understanding our clients’ needs and delivering their project as promised. We’re known for managing fast paced, high-pressure projects such as the USPS Snapper Creek Branch Expansion, HVAC Reset at Vicksburg, and USDA AQI Lab Renovation to name a few. We have also made a name for ourselves with many federal and local government agencies including, U.S. Army Corps of Engineers, City of Homestead, Miami Dade County Public Schools to name a few.

The officers and staff behind the firm have been active in the construction industry for three decades. The diverse knowledge of the leadership and staff of this organization has enabled Lunacon to offer a wide range of construction services to its clients. These services include accurate and reliable lump sum and conceptual estimates, constructability reviews and value engineering assistance at the design phase, construction management services with emphasis on construction operations and a single source responsibility for both design and construction processes.

At Lunacon, we know that what makes us different makes us stronger. We are committed to completing quality work, being good stewards of client's capital, meeting deadlines, eliminating headaches and avoiding surprises. In keeping with our goal of *"Delivering an OUTSTANDING Construction Experience to our Clients,"* Lunacon consistently delivers quality projects on time and within budget, resulting in a high percentage of repeat business.

Roles and Responsibilities:

Lunacon Construction will hold the prime contract with City of Miami Springs and will be responsible for the overall delivery and coordination of the design/build contract. Lunacon will provide a Project Executive, who will be an authority of delegation within the team and control the project's progress. Lunacon will also be responsible for the pre-construction to keep the design on track with a successful completion.



Carty Architecture - Carty Architecture will serve as the Lead Designer. Founded by Judy Carty, Carty Architecture, LLC is a woman owned Architectural and Interior Design firm located in Coral Gables, Florida. Prior to starting Carty Architecture, Judy Carty was a Principal and shareholder at an Architectural, Planning, Interior Design and Landscape firm with offices in Miami and Orlando. During her eight years at that firm, she was the Principal-In-Charge and Architect of Record for all of the projects in the firm's Miami office.

Our reputation is built upon the strength of our portfolio, our people, and the personal relationships formed with our clients. Our work ethic emphasizes a respect for culture, a commitment to quality, and a dedication to enhancing the team's overall project experience.

As a result, our design solutions stem from a collaborative process that encourages multidisciplinary professional teams to research alternatives, share knowledge, and imagine new ways to solve the challenges of each design venture. We are recognized for excellence in planning, design, and execution within a wide range of services for an even wider range of project types including: aviation, higher education, civic, athletic facilities, workplaces, cultural institutions, branding, and master planning. We believe the opportunity for innovation exists within the context of each project. We listen attentively, solve pragmatically, and design creatively.

Alleguez Architecture, Inc. – Alleguez Architecture, Inc., formerly known as Alleguez and Associates, Inc. will be the Architect of Record on the Miami Springs Aquatic Facility project. Alleguez Architecture is qualified and certified as a Small Disadvantaged Hispanic Woman Business Enterprise with over 26 years of experience. It is our mission to give enduring value to our clients through innovative, efficient designs with complementing high industry standards. Surpassing our client’s expectations for service, value and quality; making a difference in our communities are our highest goals. This is why we strongly believe that no matter how small or large the project, what is important is the process in which projects are tackled in and how they are executed.

Carty Architecture & Alleguez Architecture have joint ventured in the pursuit of recreational projects based on their unique combination of professional credentials, experience and talent that lends itself to the successful execution of projects to the highest quality standards.



The Lunacon Team brings a unique blend of specific experience on both small and large projects. This includes fostering customer loyalty through a service culture,

extensive manpower at skilled positions and strong subcontractor relationships throughout the South Florida area, to provide a distinct advantage to successfully deliver the construction services of this unique project. This joint venture brings together two local women owned firms; a prominent award winning architectural firm with extensive experience in recreation, aquatic and athletic buildings and an architectural firm with experience in athletic and

community facilities as well as Design Build Projects. Both firms have worked with many different governmental agencies. Additionally, each of the joint venture firms is less than 6 miles / 15 minutes away from the project site.

The Carty Alleguez team looks beyond the building as a single autonomous object and toward the creation of architectural infrastructure. Our approach to client relations, public space and the profession is echoed in our work where a significant amount of creative energy is invested in the relationship with the client throughout the briefing, design and development process. Our practices and our work are driven by passion; with the same working philosophy, management approach, proven track record and talent to solve project objectives creatively and economically.

The Carty-Alleguez team has formed a strategic alliance with each of its design sub-consultants

creating a team where all of the team members have worked together and have a history of designing facilities for different government agencies and municipalities and special needs with particular focus on recreational facilities. In collaboration with Carty & Alleguez, the team includes; Chen Moore Associates, Bliss Nyitray, SDM Consulting Engineers, and Laura Llerena & Associates.



Having been contenders for the design criteria portion of this facility along with our previous experience with Aquatic Facilities, we believe that this experience will allow us to develop the best pool program and design for Miami Springs.

It is important to recognize the key team members with major roles who have been longtime residents of Miami Springs with a vested interest in Miami Springs. Those team members are:

Orlando Milian, RA – Architectural Project Manager, Ernesto Aloma, PE – Senior PM for Mechanical, Electrical, Plumbing and Fire Protection engineering, and Paul Zilio, PE – Structural Engineer.

Our experience and past performance is wide and varied and includes most of the types of disciplines of work that this project has incorporated in the scope of work. For the reasons

mentioned above, our past performance record, skills and capabilities as described, will demonstrate to the City of Miami Springs our ability to deliver a quality result. This team, coming together, their experience, expertise and relevant past performance records, can only strengthen Lunacon's ability to deliver the quality result expected as previously demonstrated.

The project team will be staffed with our Project Executive, Darlene Roman-Rossy, Senior Project Manager, Frank Regueyra, our Estimators and design professionals to work with Miami Springs to create a plan to accomplish a construction start date of April 2016. Our goal is to present to the Owner's team a complete overview of our proposal detailing our approach to managing and controlling the scope, schedule and budget.

■ AQUATIC CENTER EXPERIENCE

We will put forth our most skilled professionals to administer this project. Both our design and construction teams proposed staff is extremely experienced in this type of work as they have worked on numerous Aquatic Center Facilities. From pre-construction through closeout, our integrated team is comprised of builders and designers with a variety of experience, who stand ready to put their experience to work for Miami Springs.

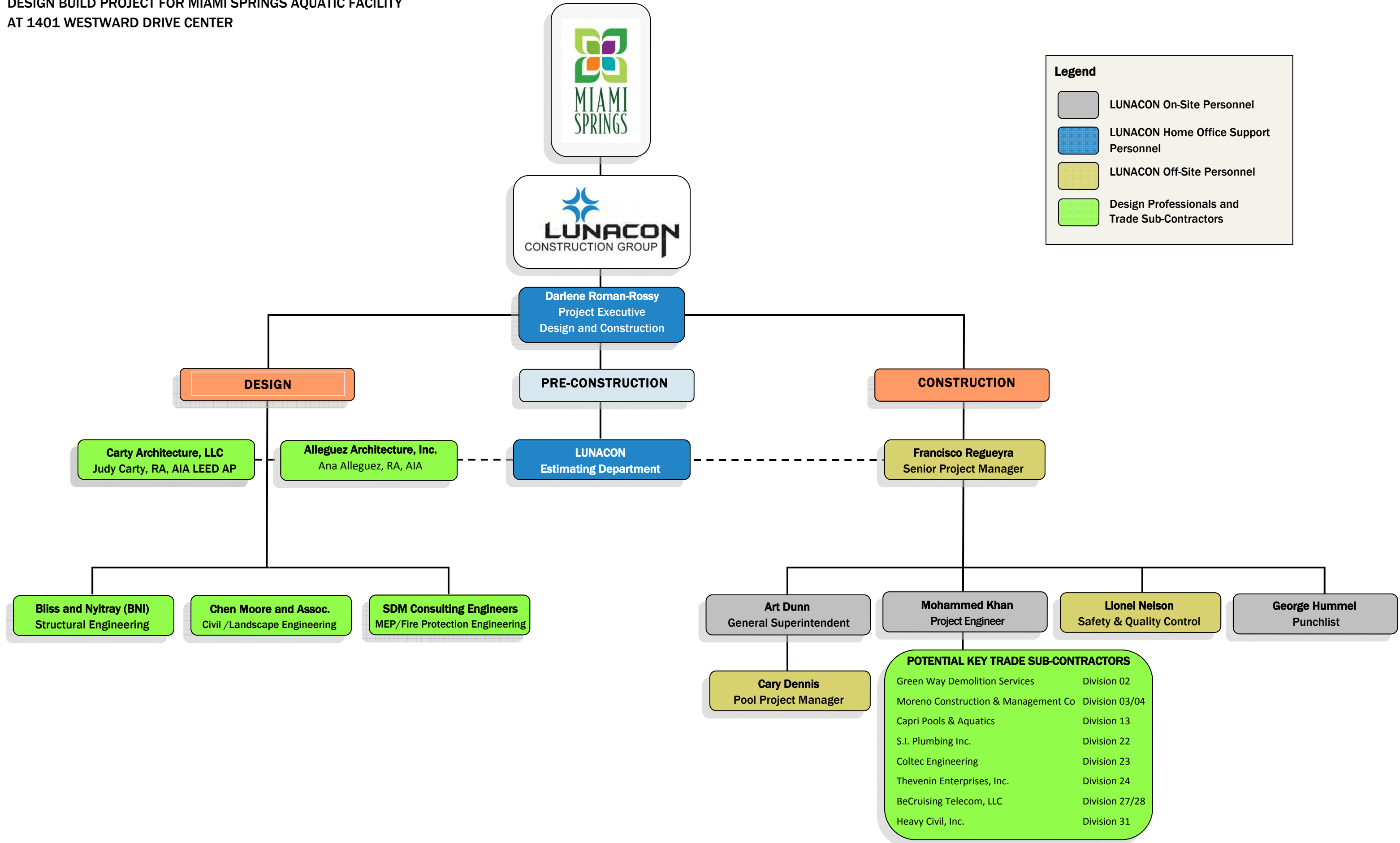


■ STRONG & EFFECTIVE LEADERSHIP

Perhaps the most important aspect of any project is strong and effective leadership. Although effective leadership at the executive level is important, the leadership and commitment at all the levels on both design and construction is paramount. Lunacon's team of experienced individuals will draw on their collective years of experience to lead pre-construction and construction efforts to make this project a clear success.

■ INVOLVEMENT DURING DESIGN

Involvement during the design phase provides an excellent opportunity for our experienced staff to work with the City staff and offer suggestions that often prove to be invaluable. We are able to provide input in value engineering, constructability reviews and schedule



Legend

- LUNACON On-Site Personnel
- LUNACON Home Office Support Personnel
- LUNACON Off-Site Personnel
- Design Professionals and Trade Sub-Contractors

OFFEROR'S DISCLOSURE OF SUBCONTRACTORS, SUBCONSULTANTS, AND SUPPLIERS

Please list all Subcontractors, Sub-consultants, and Suppliers to be used in connection with performance of the Contract (use additional pages, if necessary):

1. Company Name: SEE ATTACHED PROPOSED TEAM GENERAL
Address: QUALIFICATIONS TABLE

City, State, & Zip Code: _____

2. Company Name: _____
Address: _____

City, State, & Zip Code: _____

3. Company Name: _____
Address: _____

City, State, & Zip Code: _____

4. Company Name: _____
Address: _____

City, State, & Zip Code: _____

5. Company Name: _____
Address: _____

City, State, & Zip Code: _____

X _____
Patricia Bonilla, President

**FAILURE TO COMPLETE, SIGN AND RETURN THIS FORM
MAY DEEM YOUR RESPONSE NON-RESPONSIVE**

PROPOSED TEAM - GENERAL QUALIFICATIONS



| | ROLE | | | FIRM NAME AND KEY PERSONNEL | TITLE REGISTRATION LICENSE | ADDRESS AND CONTACT INFO | SERVICES TO PROVIDE |
|----|-------|-------------|----------------|---|---|---|---|
| | PRIME | J-V PARTNER | SUBCON-TRACTOR | | | | |
| 1. | X | | | LUNACON CONSTRUCTION GROUP | | 16890 S. Dixie Highway Miami, FL 33157 Tel: 786.293.0035 Fax: 786.293.0333 info@lunaconcorp.com | General Contractor- Prime |
| | | | | Patricia Bonilla | Principal FL Registered Contractor CGC 1514246 | Ext. 101 pbonilla@lunaconcorp.com | |
| | | | | Art Dunn | General Superintendent | adunn@lunaconcorp.com | |
| | | | | Darlene Roman-Rossy | Project Executive | Ext. 119 droman-rossy@lunaconcorp.com | |
| | | | | Francisco Regueyra | Senior Project Manager | Ext. 118 fregueyra@lunaconcorp.com | |
| 2. | | | X | ALLEGUEZ ARCHITECTURE, INC. | | 901 Ponce De Leon Blvd., Suite 202 Coral Gables, Florida 33134 Tel: 305.461.4001 Fax: 305.461.6002 | Architectural Services - Architect of Record |
| | | | | Ana Alleguez, RA, AIA, LEED AP | FL Registered Architect AR0014190 | ana@alleguezarchitecture.com | |
| | | | | Orlando Melian, RA | FL Registered Architect AR94945 | orlando@alleguezarchitecture.com | |
| 3. | | | X | CARTY ARCHITECTURE, LLC | | 2655 S Le Jeune Rd, Suite #400 Coral Gables, FL 33134 Tel: 786.536.7555 jcarty@CartyArchitecture.com | Architectural Services - Lead Designer |
| | | | | Judy Carty, RA, AIA LEED AP | Registered Architect RA# | | |
| | | | | Ana Maria Beebe Carlos Manuel Veloso | Architectural Designer Project Manager | | |
| 4. | | | X | BLISS AND NYITRAY (BNI) | | 800 Douglas Road, Suite 300 Coral Gables, Florida 33134 Tel: 305.442.7086 Fax: 866.832.5291 | Structural Engineering |
| | | | | Paul A. Zilio, P.E. | Senior Principal/Partner | Direct: 305.351.0223 p-zilio@bniengineers.com | |
| | | | | William Caycedo, P.E. | Associate Principal Director – Miami Office | w-caycedo@bniengineers.com | |



PROPOSED TEAM - GENERAL QUALIFICATIONS



| | ROLE | | | FIRM NAME AND KEY PERSONNEL | TITLE REGISTRATION LICENSE | ADDRESS AND CONTACT INFO | SERVICES TO PROVIDE |
|----|-------|-------------|----------------|---------------------------------------|---|--|---|
| | PRIME | J-V PARTNER | SUBCON-TRACTOR | | | | |
| 5. | | | X | CHEN MOORE AND ASSOCIATES | | 155 South Miami Avenue Penthouse II-A Miami, FL 33130 Tel: 786.497.1500 Fax: 786.497.2300 | Civil Engineering |
| | | | | Gregory A. Mendez, P.E. | Senior Engineer - Miami P.E. #64718 | Ext. 1125 gmendez@chenmoore.com | |
| | | | | Jose Acosta, P.E. | P.E. # 63827 | Ext. 1077 jacosta@chenmoore.com | |
| | | | | Patrick Kaimrajh, EIT | Associate Engineer | Ext. 1087 pkaimrajh@chenmoore.com | |
| 6. | | | X | SDM CONSULTING ENGINEERS, INC. | | 135 Almeria Avenue Coral Gables, FL 33134 (305) 446-2788 | Mechanical Electrical Plumbing Fire Protection Engineering |
| | | | | Manuel P. Montoya, P.E. | P.E. # 66220 | manny@mssc.com | |
| | | | | Ernesto Aloma, P.E. | P.E. # 53823 | erniea@mssc.com | |
| | | | | Jose I. Martinez, P.E., LEED AP | P.E. # 53779 | josem@mssc.com | |
| 7. | | | X | CAPRI POOLS & AQUATICS | | 22 Gateway Commerce Center Dr. W Suite 110 Edwardsville, IL 62025 Tel: 314-351-6020 Fax: 314.351.0033 | Aquatic Contractor |
| | | | | Cary A. Dennis, M.E. | | (618) 219-4887 cary@capripool.com | |
| | | | | | | | |
| 8. | | | X | LAURA LLERENA & ASSOCIATES | | 13170 SW 128th Street, #207 Miami, Florida 33186 Tel: 305.256.1199 Fax: 305.256.1155 | Landscape Architect |
| | | | | Laura Llerena-Hernandez, RLA | President FL Registered Landscape Architect LA6667125 | Cell: 305-338-3416 lhernandez@lillerena-associates.com | |
| | | | | Jason T. Korose | Senior Project Manager | jkorose@lillerena-associates.com | |



Patricia Bonilla
President

CONSTRUCTION EXPERIENCE

21 Years

EDUCATION

MS Construction
Management, Florida
International University

BS Civil Engineering,
Universidad Nacional Pedro
Henriquez Urena, Santo
Domingo, DR

CERTIFICATIONS

OSHA 500
GC License #CGC154246

SUMMARY OF QUALIFICATIONS

Ms. Bonilla has extensive experience in the management of construction projects, both, in the private and public sectors. More than 21 years in the construction supervision as a private general contractor's project manager and as governmental agency head of construction division for the City of Fort Lauderdale. Ms. Bonilla has vast experience in all aspects of construction management and Design-Build, inclusive but not limited to: planning, budgeting, estimating, scheduling, purchasing, controlling, and invoicing.

RELEVANT EXPERIENCE

**Lunacon Construction Group, Miami, FL
President/CEO**

Oversees the complete operations of the company with a hands-on approach that thrives on hard work, dedication and a great level of trustworthiness on the client's behalf. She has created an organization that distinguishes itself by providing unparalleled service, innovative solutions, and on-time results, by exceeding client expectations while delivering high-quality projects.

**City of Fort Lauderdale, Fort Lauderdale, FL
Head of Construction Management Division**

- Oversaw the construction of 329 projects valued in \$284 millions, 245 of these projects (\$114M) were completed successfully completed under her direction.
- Responsible of developing policies, procedure and standards for the newly created Construction Management Division, in order to obtain the necessary means of controls that guaranteed all projects would be completed within budget and schedule; while minimizing impacts to the City's citizens.
- In charge of the resolution of over \$35,000,000 construction related legal disputes existent prior to my incorporation to the City's staff.

**Construction Support Services, Orlando, FL
Project Manager**

- Responsible of resuming and completing the construction of the Joseph Carter Park Project (\$6,000,000+/-), on behalf of the Surety (The Hartford Fire Insurance), immediately after the original contractor was terminated by the Owner.
- In charge of negotiating, settling and reassigning existing subcontract agreements and purchasing/negotiation with new Subcontractors when necessary.
- Responsible of managing up to 110 subordinates, which included superintendent, field personnel, subcontractors, administrative staff, etc.

"Patricia Bonilla is a consummate Professional. ...Patricia took on each project as if she was doing it with her own money, always demanding high quality, safety, and timely completion. She is a leader in her field and was an example to all individuals working for her."

Kathleen Gunn,
Assistant City Manager,
City of Fort Lauderdale

Patricia Bonilla
President

"It is with great pleasure that I recommend Lunacon Construction Group for their Construction management Services. Lunacon has exhibited attentiveness and professionalism while providing quality services to the City of Homestead."

David Hebert,
Assistant City
Manager, City of
Homestead

RELEVANT EXPERIENCE

**City of Fort Lauderdale, Fort Lauderdale, FL
Joseph C. Carter Park**

- Oversaw the construction of one of the City of Ft. Lauderdale's most beautiful parks consisting of 21.6 acres. It is most popular for its large lighted athletic facilities for football, track, baseball, tennis, and basketball. J.C. Carter Park now has new pickle ball courts and racquetball to enjoy. There is an indoor gymnasium, annex, social center, and recreation center. Families and groups can rent pavilions located throughout the park.
- The park also has the **Carter Park Pool** and **Water Playground** areas along with concession stands, recreation center with stage, pavilion and many more exciting features.

**U.S. Army Corps of Engineers, Savannah District
Ft. Stewart SATOC, Ft. Stewart, GA**

- This is a \$16M Single Award Task Order Contract (SATOC) for General Construction and Design/Build Construction is intended to provide rapid response for General Construction: new construction, rehabilitation, maintenance or repair of situations relating, but not limited to, site work, mechanical systems, plumbing, utility systems, structural, electrical, HVAC, instrumentation, security and safety areas of Government facilities in a cost effective manner.

**U.S. Army Corps of Engineers, Mobile District
Ft. Stewart SATOC, Ft. Stewart, GA**

- This is a \$4M Sole Source Indefinite Quantity Contract (IDIQ) for miscellaneous operations and construction for Military installations for South and Central Florida and various locations in the State of Florida.

Darlene Roman-Rossy
Project Executive

CONSTRUCTION EXPERIENCE

34 Years

EDUCATION

Masters in Construction Management, Florida International University – Cum Laude

B.S. in Architecture / Interior Architecture, University of Southwestern Louisiana

CERTIFICATIONS

OSHA 10

CPR/First Aid Certified

“The success of William H. Turner Technical Arts High School was greatly attributed to Ms. Roman-Rossy’s efforts. As the Project Manager, she was responsible for the design and construction administration of the largest educational facility built in South Florida, she delivered a quality product within budget and time.”

Armando Ubals
Miami Dade County Public Schools

SUMMARY OF QUALIFICATIONS

Ms. Roman-Rossy’s experience includes over \$850,000,000.00 of constructed projects, including designed and built projects, with an emphasis in architecture, structural and civil engineering design, and construction management expertise encompassing; cost estimating, project scheduling, project management, risk assessment and management, constructability reviews and project feasibility analyses and assessments . As Vice President of the Company, Ms. Roman-Rossy oversees all the administrative matters of the Company, in addition to all the technical aspects of architecture, engineering, estimating and construction.

PROJECT EXPERIENCE

Continuum II – North Tower Condominium

CLIENT: South Beach Ocean Parcel II Developer ■ VALUE: \$106 Million

The Continuum North Tower Condominium is located in the exclusive South of Fifth Street Neighborhood, bordering South Pointe Park and The Atlantic Ocean. Continuum II is one of the most luxurious condominiums in all of South Florida. Continuum is a 37 stories residential tower with 3 levels of parking garage and the parking garage serves as the pedestal for entrance/lobby deck in which the townhouses and the lofts are located separate from the tower structure. There are 214 residential units in the tower, 12 townhouses, 9 lofts and 14 cabanas which are located at the famous free form lagoon pool. Adjacent to the pool is the pool pavilion, which includes men and women locker rooms a bar and grill and a smoothie bar.

Felix Varela Senior High School, Dr. Michael Krop Senior High School, Hialeah Senior High School, Lamar Louise Curry Middle School, Doral Middle School, Jose de Diego Middle School, Huber Sibley Elementary School

CLIENT: Miami – Dade County Public Schools ■ VALUE: \$225 Million

Dr. Michael Krop’s design became a successful design build high school which at the request of the Client Miami-Dade County Public Schools became the design build prototype for Felix Varela Senior High School. Both schools had approximate 320,000 SF of new construction which included, classrooms, labs, 700 seats auditorium, media center / library , black box theater, dining facility and kitchen, indoor basketball courts and bleachers, weight rooms, dance and gymnastics studios, male and female locker rooms including of shower and therapy rooms, band and vocal classrooms with individual practice rooms and administration area. The high school outdoor facilities included tennis courts, baseball fields, running track and a driver’s education driving range. The middle schools were approximately 150,000 SF of new construction and included classrooms, labs (home economics, art, photography), physical education locker rooms, weight rooms, multi-purpose room, media center, cafeteria, kitchen and auditorium.

Darlene Roman-Rossy
Project Executive

“Darlene was instrumental in the success of the design build schools, as the Director of Design Build she brought into the project the understanding of the design criteria requirements and integrated the construction aspects of cost control and scheduling into the design phase to safeguard the Client’s budget and timeline.”

Javier Salman, AIA
Partner
C3TS
Miami, Florida

Everglades Senior High School

CLIENT: Broward County School Board ■ VALUE: \$43Million

A state of the art design build senior high school of 375,000SF of new construction. The school included classrooms, photography, arts, home economics labs, music classrooms including vocal and choir labs, science classrooms and physics, chemistry and biology labs, 750 seats auditorium, dining room and kitchen. The high school included an extensive athletic program which comprised; indoor basketball court with seating, wrestling rooms, weight room, dance and gymnastic studio, multi-purpose room, outdoor tennis courts, baseball and softball fields, racquet ball courts, running track, football field with bleachers and press room and outdoor basketball courts.

OTHER RELEVANT EXPERIENCE

| | |
|---|----------------------|
| MARINA BLUE CONDOMINIUM | \$125 MILLION |
| THE BLUE CONDOMINIUM | \$66 MILLION |
| OCEANIA TOWERS I, II, III | \$85 MILLION |
| CONTINUUM II | \$106 MILLION |
| MIAMI DADE COUNTY SCHOOL BOARD | \$260 MILLION |
| William H. Turner Technical Arts High School | |
| Hialeah Senior High School – Design Build | |
| Felix Varela Senior High School – Design Build | |
| Dr. Michael Krop Senior High School – Design Build | |
| Miami Lakes Technical High School – Design Build | |
| Lamar Louise Curry Middle School – Design Build | |
| Doral Middle School – Design Build | |
| Jose de Diego Middle School – Design Build | |
| Hubert Sibley Elementary School – Design Build | |
| Ernest R. Graham Elementary School | |
| Primary Learning Centers L, M, P – Design Build | |
| BROWARD COUNTY SCHOOL BOARD | \$43 MILLION |
| Everglades High School | |
| CITY 24 CONDOMINIUM | \$36 MILLION |
| ARTE CITY CONDOMINIUM | \$42 MILLION |
| FLORIDA INTERNATIONAL UNIVERSITY | |
| Ryder Business Building | \$16 Million |

Frank Regueyra
Senior Project Manager

CONSTRUCTION EXPERIENCE

29 Years

EDUCATION

Bachelor of Architecture
University of Cincinnati
1985

CERTIFICATIONS

OSHA 10
CPR/First Aid Certified

“As a professional, Mr. Regueyra embodies boundless energy, a commitment to quality, and a broad skill set in addressing the many facets of his role of the construction process. His ability to communicate with others and his outstanding concept of “Team” are examples of what makes him a great leader.”

Bradley C. Neavin,
Superintendent of
Schools, Vandalia-
Butler City Schools,
Vandalia, Ohio

SUMMARY OF QUALIFICATIONS

With over 29 years of architectural and construction management experience, Frank Regueyra’s unique combination of design and construction experience provides him with an unusual ability to conceptualize early design intents and evaluate the same for its constructability. With this expertise, Frank is a natural leader assisting clients and prospects in the planning and development of their projects. Frank takes pride in well managed and coordinated operations which allows his projects to consistently meet schedule and budget.

PROJECT EXPERIENCE

Ft. Bliss Indoor Aquatics Center, Ft. Bliss, TX

CLIENT: U.S. Army Corps of Engineers ■ VALUE: \$13.8M

A new 49,800 SF Indoor Aquatics Center in Ft. Bliss, Texas, which serves as soldier training space for water-based maneuvers and doubles as recreation space for soldiers and their families. Features of the new Indoor Aquatics Center include: 50M, 8-lane lap pool; deep water training tank; multi-purpose pool; training rooms and classrooms; and locker rooms. The project was designed and constructed for LEED Silver certification. As the design/builder, we were responsible for design coordination, establishment of the overall project schedule, cost control, safety management and coordination with all USACE personnel.

Ft. Stewart Physical Fitness Facility, Ft. Stewart, GA

CLIENT: U.S. Army Corps of Engineers, Savannah District ■ VALUE: \$17.4M

A new 80,327 SF, two-story Physical Fitness Facility at Ft. Stewart, Georgia, includes an indoor pool (natatorium), running track, gymnasium, fitness module, entrance lobby with climbing wall feature, spinning room and racquetball courts. Additional features include aerobics module, concessions, day care, locker rooms with saunas and cycling. The project is certified with a LEED Silver rating. As design/builder, we were responsible for design coordination, establishment of the overall project schedule, cost control, safety management and coordination with all USACE personnel.

YWCA of Greater Cincinnati, Cincinnati, OH

CLIENT: YWCA ■ VALUE: \$2M

A renovation of an existing facility which, includes renovating an indoor pool (natatorium), gymnasium, fitness module, and entrance lobby with. Additional features include, day care, locker rooms with saunas and cycling. As the general contractor, we were responsible for design coordination, establishment of the overall project schedule, cost control, safety management and coordination with all USACE personnel.

Frank Regueyra
Senior Project Manager

“Frank led a team that did all the things you as an Owner would want and expect of a construction management firm to do on a project, including bringing the project in on time and budget. However, what made Frank different were the things he was able to get his team to do that you would not expect from a construction management firm.”

Douglas L. Marsh,
Senior Vice President
KZF Design

Cincinnati, Ohio

PROJECT EXPERIENCE

Fountain Square Renovation, Cincinnati, OH

CLIENT: Cincinnati Center City Development Corp. (3CDC) ■ VALUE: \$26M

The complete renovation of historic Fountain Square, located in the symbolic and physical heart of Downtown Cincinnati, was a \$42 Million transformation. The project was a complete overhaul of the outdoor public plaza, from the top of its famous fountain’s head to the bottom of the four-level underground parking. Today, Fountain Square pulses with people, events and excitement nearly every hour of every day. It has inspired approximately \$88 million in surrounding property investment.

Cincinnati Reds Hall of Fame Museum and Team Store, Cincinnati, OH

CLIENT: Cincinnati Reds ■ VALUE: \$9.9M

The Cincinnati Reds Hall of Fame Museum is a two part structure consisting of a 6,000 SF Team Store and a 36,000 SF Museum. Limited on-site material storage and a complex mechanical and lighting package installed in high bay ceilings, were just a few of the challenges accomplished in the 2 ½- month construction schedule. The design of the team store incorporates many baseball themes from the Cincinnati Reds, including a replica of the World Series trophy. The Hall of Fame tells the story of the Cincinnati Reds from early years, starting at the Terrace Level, through to the Gallery, which encompasses the most accomplished Reds players.

OTHER RELEVANT EXPERIENCE

| | |
|---|----------------------|
| GREAT AMERICAN BALL PARK | \$280 MILLION |
| TROTWOOD MADISON SCHOOL DISTRICT | \$75 MILLION |
| • Included Natatorium | |
| CITY OF NORTH OLMSTED FIRE STATION NO. 2 | \$4.2 MILLION |
| HAMILTON CITY SCHOOL DISTRICT | \$57 MILLION |

Art Dunn
General Superintendent

CONSTRUCTION EXPERIENCE

49 Years

EDUCATION

Washington University
School of Engineering,
St. Louis, MO

Haley Tech
Steel Fabrication, Welding
and Process piping
Application

CERTIFICATIONS

OSHA 30
OSHA 500 (Instructor)
OSHA 502

SUMMARY OF QUALIFICATIONS

With over 49 years of construction experience, Art Dunn will have responsibility of construction field operations by directing daily progress and supervising and directing subcontractors and self-perform crews. Mr. Dunn has successfully coordinate and managed all filed activities for projects in excess of \$150 million and delivered the projects on time and within budget while maintaining construction quality in accordance with the project documents. He will also be responsible for enforcing site safety practices, schedule the work on the field, and assure adequate staffing at job site. Art takes pride in well managed and coordinated operations which allows his projects to consistently meet schedule and budget.

PROJECT EXPERIENCE

MIA North Terminal Development Program, Miami, FL

CLIENT: Miami-Dade Aviation Department ■ VALUE: \$1.04B

The program comprised of 15 projects designed by five different design firms. The MIA North Terminal is one of the largest expansions of an existing airport the US has ever seen, the equivalent of building an entirely new mid-size airport within a fully operating facility. The design includes 50 new gates, new U.S. Citizenship and Immigration Services facilities, 123 ticket counters, 119 self service kiosks, 72 federal inspection services location, in charge of the installation of the state of the art baggage system capable of handling 45,000 bags a day, nearly 2 miles of escalator, an 1 mile light-rail train constructed on the roof of the concourse, and wide array of concession and customer.

Miami International Airport C-D Infill Project, Miami, FL

CLIENT: Miami-Dade Aviation Department ■ VALUE: \$150M

The overall project consisted of three different contracts. Project 737A was for the underground utilities, fuel lines and apron paving. Project 737B included the elevated slab and all underground utilities. Project 737C was for an additional three floors, train guide way and all associated columns, beams and running surface for the train.

Miami International Airport (MDAD Project), Miami, FL

CLIENT: Miami-Dade Aviation Department ■ VALUE: \$100M

This included the in-bound and out-bound bridges on the upper vehicle drive. Project Park 7, which included a seven floor garage and the renovation of the existing four garages. This included the lowering of the bus lanes thru each garage and the remodel of all elevators and modernization of all structures.

Art Dunn
General Superintendent

PROJECT EXPERIENCE

American Airlines, Miami, FL

CLIENT: Miami-Dade Aviation Department ■ VALUE: \$1.B

This was the construction of American Airlines new Concourse 1-1/2 mile long , 50 gates,123 ticket counters,72 Federal inspection station, State of the art baggage system 45000 bag a day 1.5 mile light rail system on the roof.

Miami International Airport, Miami, FL

CLIENT: Miami-Dade Aviation Department ■ VALUE: \$65M

This project consisted of the Construction of the new north side of Concourse F which included 9 new gates, hold rooms, 4 elevators, construction of 600 ft of power walkway systems, concrete aprons and runways.

Ana Alleguez, RA
Principal / President

CONSTRUCTION EXPERIENCE

29 Years

EDUCATION

Bachelor of Architecture
University of Miami – 1984

Bachelor of Design
University of Florida - 1983

Associates of Arts
Miami Dade College – 1980

REGISTRATIONS

State of Florida Architect
No. AR 14190, 1992

State of Florida Int. Designer
No. ID 0004390, 2000

State of Alabama Architect
7100, 2012

State of N. Carolina Architect
12474, 2012

NCARB No. 73,311

LEED Accreditation, 2009

Uniform Bldg. Inspector, 1998

“... Alleguez did a tremendous job which had a tight budget. They engaged all the users and met the program perfectly.”

*Gloria Jacomino, Chief
Project Administrator,
Facilities Planning
Department, FIU*

SUMMARY OF QUALIFICATIONS

Ms. Alleguez involved with many project types & numerous government agencies as well as the private sector. With a solid background in all stages of architectural production from the development of design concepts through construction mgmt., observation, & inspections, Ms. Alleguez has the ability to efficiently plan, assign & supervise work & produce documentation on schedule. As principal of the firm she has established a quality control procedure that includes project check lists and production techniques using “EPS” Early Problem Seeking and Early Problem Solving”.

PROJECT EXPERIENCE

Inter American Campus – Art + Science Building 3000

CLIENT: Miami Dade College ■ VALUE: \$ 4.9M

This 4-story, 40,000sf educational facility where basic program requirements were aggressive and challenging due to limited building space and budget; building included Multi-Purpose Room for theater productions, musical recitals and book presentation, choral music rooms with sound-proof instrumental practice spaces. Art Studios and Science Laboratories for biology and chemistry that required extensive ventilation and complex exhaust systems. Project was awarded “Project of Distinction” by Educational Showcase

The Women’s History Gallery

CLIENT: Miami Dade County Park & Recreation ■ VALUE: \$ 2.4 M

Bringing Ms. Roxcy Bolton’s vision to life in a 6,000 sf gallery dedicated to women of Miami Dade County sits on a 14 acre property overlooking a 5 acre lake in the middle of the park. The facility provides spaces for meetings, cultural events, and exhibits including an audio-visual room that features oral histories of a diverse number of women.

Altos Retail Center & Parking Garage

CLIENT: Publix Super Markets, Inc. – Brandon Partner ■ VALUE: \$ 10.2M

This retail center consisted of an entire city block with 38,000 SF of retail space dedicated to the two-story Publix Store and parking garage accommodating 192 vehicles.

Ana Alleguez, RA
Principal/President

“....seamlessly integrated all phases of the project from design through construction close-out between the department, the construction staff, and the design professionals. Alleguez is hands on and were always available to resolve any and all issues during the project”

Gianni Lehman, Div. Mgr. Facilities & Construction; Miami Dade County Fire Dept.

PROJECT EXPERIENCE

Kendall Soccer Park

CLIENT: Miami Dade County Park & Recreation ■ VALUE: \$ 2.2M

This facility was the first of its kind for Miami-Dade County and South Florida, equipped with a 200’ X 275’ standing seam steel roof, a promenade and show arena. The project was funded with Safe Neighborhood Park Bond dollars and State Legislative Appropriations. The opening of the Center coincided with the “Miami Carnival”; a Paso-Fino horse show and one of the largest events held at this site.

Sawgrass National Park Nature Center; Administration + Wildlife Hospital – Design Build

CLIENT: City of Coral Springs ■ VALUE: \$ 1.3M

This consisted of two buildings; each building is approximately 2,000 square feet. Facility is on a 5 acre site and consists of a multi-purpose building with a meeting room, nature gift boutique, offices, and restrooms; and the wildlife hospital where wild native animals are treated, rehabilitated, and released back into the wild. Non-releasable and exotic animals & birds will allow a close-up viewing opportunity in the Center’s permanent exhibit area. Animals and birds will be housed in natural-looking habitats and aviaries. The facility also has an outdoor classroom to hold educational programs, lectures, camp, parties, group activities, and to host meetings.

OTHER RELEVANT EXPERIENCE

- MIAMI LAKES FIRE RESCUE STATION \$ 4.2 MILLION
- YMCA OF GREATER MIAMI – S. DADE FAMILY CENTER \$ 7.8 MILLION
- YMCA OF GREATER MIAMI – DAY CARE INT’L BRANCH \$ 1.0 MILLION
- KEYS GATES MASTER PLAN + COMMUNITY PARK \$ 2.5 MILLION
- HOFFMAN LIBRARY EXPANSION \$ 1.2 MILLION

Orlando Melian, RA
Senior Project Architect

CONSTRUCTION EXPERIENCE

18 Years

EDUCATION

Bachelor of Architecture
University of Miami – 1998

Associates of Arts
Miami Dade College – 1995

REGISTRATIONS

State of Florida Architect
No. 94945, 2009

“The City was very pleased with the architect’s performance as well as their attitude for the project. They exhibited great work ethics as well as technical ability. We would not hesitate to hire them again.”

*Danny Ezzeddine, AIA,
NCARB, Director of
Design, Landscape &
Construction, City of
Plantation, Florida*

SUMMARY OF QUALIFICATIONS

Responsibilities include programming, code research, renderings, site and environmental analysis, schematic design, design development, construction documents, specification writing and construction administration, management and inspections. Mr. Melian has proven to be innovative and enthusiastic. He has a broad based knowledge of architecture and construction due to his first-hand experience in the field alongside his father; a general contractor; as a young boy. Mr. Melian has had the opportunity to be involved in the design of numerous projects for private, institutional, and governmental agencies

PROJECT EXPERIENCE

Miami Lakes Fire Rescue Station; LEED Silver

CLIENT: Miami Dade County Fire Rescue Dept. ■ VALUE: \$ 4.2M

A 13,500 square foot, 2-story, 3-apparatus bay facility that has been designed and constructed to comply with “Sustainable Building Program of Dade County and USGBC to receive LEED Silver Certification and incorporated Art in Public Places. The design program includes an entry feature clearly defined and obvious to the public approaching the facility. A lobby area is strategically located at the main public entrance to the station accommodating visitors and allowing emergency personnel to render medical assistance. The facility also includes offices, kitchen, dining area, day room, living room, study rooms, and 14 dormitories along with adequate toilet and shower area. Other amenities include an EMS and exercise rooms, work areas for maintenance and modification of tools and general housekeeping of the apparatus bay, a bunker.

Hoffman Library Expansion – Design Build

CLIENT: City of Plantation ■ VALUE: \$ 1.2M

AE team was tasked with the challenge of meeting updated codes while remaining true to the historical architecture the 3,000 square foot addition of the Children’s Room, book sale area, and multi-purpose room created the expansion to the existing library meeting the Library’s mission envisioned.

Altos Retail Center & Parking Garage

CLIENT: Publix Super Markets, Inc. – Brandon Partner ■ VALUE: \$ 10.2M

This retail center consisted of an entire city block with 38,000 SF of retail space dedicated to the two-story Publix Store and parking garage accommodating 192 vehicles.

Orlando Melian, RA
Senior Project Architect

“Not only did Alleguez deliver exemplary design services, they exceeded our expectations as construction administrators. Their diligence and follow through made the job flow smoothly”

*Stephen Brandon,
President, Brandon
Partners, Orlando
Florida*

PROJECT EXPERIENCE

Tropical Park Equestrian Center – Design Build

CLIENT: Miami Dade County Park & Recreation ■ VALUE: \$ 2.2M

This facility was the first of its kind for Miami-Dade County and South Florida, equipped with a 200’ X 275’ standing seam steel roof, a promenade and show arena. The project was funded with Safe Neighborhood Park Bond dollars and State Legislative Appropriations. The opening of the Center coincided with the “Miami Carnival”; a Paso-Fino horse show and one of the largest events held at this site.

Sawgrass National Park Nature Center; Administration + Wildlife Hospital – Design Build

CLIENT: City of Coral Springs ■ VALUE: \$ 1.3M

This consisted of two buildings; each building is approximately 2,000 square feet. Facility is on a 5 acre site and consists of a multi-purpose building with a meeting room, nature gift boutique, offices, and restrooms; and the wildlife hospital where wild native animals are treated, rehabilitated, and released back into the wild. Non-releasable and exotic animals & birds will allow a close-up viewing opportunity in the Center’s permanent exhibit area. Animals and birds will be housed in natural-looking habitats and aviaries. The facility also has an outdoor classroom to hold educational programs, lectures, camp, parties, group activities, and to host meetings.

OTHER RELEVANT EXPERIENCE

Design Build

- REDLAND FIRE RESCUE STATION
- WEST SUNSET FIRE RESCUE STATION
- WEST KENDALL FIRE RESCUE STATION
- TRAIL FIRE RESCUE STATION
- VILLAGE OF HOMESTEAD FIRE STATION
- EAST HOMESTEAD FIRE STATION
- S. MIAMI HTS. FIRE RESCUE STATION

RANGED FROM \$1.2 – 3 MILLION

Judy Carty
Principal/President

CONSTRUCTION EXPERIENCE

24 Years

EDUCATION

Master of Architecture
Columbia University - 1992

Bachelor of Design in
Architecture
University of Florida - 1988

REGISTRATIONS

State of Florida Architect
No. 92770, 2005

State of Florida Interior
Design No. 5823, 2010

NCARB No. 59359
LEED Accreditation 2009

State of New York Architect
No. 025078, 1995

*"... their responsiveness
and quality of service has
been excellent. Very
professional and skilled
firm"*

*Paulo Brida, Project
Manager, Facilities
Planning Department,
FAU*

SUMMARY OF QUALIFICATIONS

With over 25 years of planning and design experience, Judy Carty has a record of creating visionary architectural designs across an array of airport, educational, recreational, federal, commercial, corporate, and mixed-use projects of all sizes. Judy is recognized for the extraordinary personal commitment she brings to each project along with her deep understanding of the communal interests that shape it.

PROJECT EXPERIENCE

PGA National Resort and Spa, Palm Beach County, FL

CLIENT: Walton Florida Golf Resort ■ VALUE: 15M

The multi-million dollar renovation of the PGA National Resort & Spa. This project had an 18 phase project program. Renovations began with a re-design of the front entrance to the resort and continue with the lobby, featuring a contemporary lobby bar, a new restaurant, the expanded Business Concierge Lounge, and Coffee Shop. Outside the lobby's back wall of floor-to-ceiling windows, a completely redesigned free-form pool with lush landscaping, water features, private cabana rooms, a children's pool and play area, and re-developed Wave Bar & Grill.

Naples River Park Aquatic Center, Naples, FL

CLIENT: City of Naples ■ VALUE: 1.5M

A neighborhood aquatic facility located adjacent to an existing Community Center. The new pool consists of a six lane lap pool, a learn-to-swim area, and a zero entry area with a large play feature. The bath house includes men, women, and family restrooms, showers, and locker areas. The main entry building houses the lifeguard office, ticket booth, storage, kitchen, pump equipment, and a double height covered entry.

Florida Atlantic University: Recreation Center Phase I & II, Boca Raton, FL

CLIENT: Florida Atlantic University ■ VALUE: Phase I: 8M & Phase II: 7M

The overall facility consists of a 86,000 SF fitness, administration, and support building positioned around a central, two-story lobby. Work included: 11,000 SF of fitness with both cardio and strength equipment; office, conference, and reception areas; 2 two-court, multi-purpose gymnasiums; 5,300 SF of locker rooms; 2 studios; a 3,000 SF main lobby with a control desk, and food service area; an equipment checkout suite with laundry facilities; and an outdoor pool area.

Judy Carty
Principal/President

"Their internal quality control of drawings is something I rarely see in private work and their drawings are what I would call "hard bid" quality. Their size allows "principal" involvement backed up with a staff of quality people. Their design work is high quality."

Jeff Williamson,
Senior Project
Manager for Moore
Park, Gibson
Development Group,
Orange Bowl
Committee

PROJECT EXPERIENCE

Joseph C. Carter Park Athletic Fields, Fort Lauderdale, FL

CLIENT: City of Fort Lauderdale ■ VALUE: 3M

Project consists of an artificial turf football field, an eight lane track, and field events, as well as two covered bleacher seating areas for 450 spectators. Renovations to the exterior of the existing concessions and press box included repair, repainting, and overall "branding". A new score board, including related signage as well as new site fencing, lighting, and parking, were also included in the 257,000 SF project.

South Terminal Expansion, Miami, FL

CLIENT: Miami-Dade Aviation Department ■ VALUE: 368M

Project consisted of the full expansion of the existing airport south side increasing the terminal curbside by over 1000 ft, in a five-story building which can process up to 2500 passengers per hour. Terminal functions include arrival and departure curbs, 128 ticket counters, ticket offices, service concessions, restrooms, security points, an automated baggage system, baggage claim areas, customs and border protection offices, storage, support spaces and a cruise ship bus terminal.

Moore Park Athletic Facility, Miami, FL

CLIENT: Orange Bowl Committee ■ VALUE: 5.6M

A 4,580 SF legacy gift from the Orange Bowl Committee to the City of Miami. Moore Park was the site of the first Orange Bowl game 75 years ago. The design includes a new synthetic turf field, running track, field event facilities, 1,500 bleacher seating, and under bleacher equipment storage. The project included a press box with designated photographer platform on the roof, coach boxes, restrooms, locker rooms, clubroom, concession facilities for both home and away teams, an electronic score board, related signage, competition field lighting, and overall park "branding".

OTHER RELEVANT EXPERIENCE

| | |
|---|-----------------------|
| SARASOTA NATIONAL CEMETERY, SARASOTA, FL | \$6.5 MILLION |
| BROWARD COLLEGE 50 & 51, COCONUT CREEK, FL | \$5.7 MILLION |
| BAR 91 RESTAURANT, PALM BEACH COUNTY, FL | \$245 THOUSAND |
| SOUTH FL NATIONAL CEMETERY, LAKE WORTH, FL | \$1.9 MILLION |
| PALM TERRACE RESTAURANT, PALM BEACH, FL | \$285 THOUSAND |

Carlos Manuel Veloso

Project Manager

CONSTRUCTION EXPERIENCE

10 Years

EDUCATION

Bachelor of Design in
Architectural Studies
Florida International
University 2003

Master of Architecture
Florida International
University 2005

REGISTRATIONS

State of Florida Architect
No. 96996, 2014

"... a dynamic, high-energy, high-tech, cutting-edge, student friendly facility ... a facility with a beautiful blend of amazing architecture and functionality that exceeds the demands of our students and members ... a first-rate architectural firm"

Eric A. Hawkes
Director, Department
of Campus Recreation
FAU

SUMMARY OF QUALIFICATIONS

Carlos Veloso is a progressive architectural professional with a proven ability to carry out all aspects of a project; with an extensive background in conceptual design, design development, construction documents, permitting, construction administration, quality control, and project management; and the ability to develop spaces and structures that are well balanced with owner requirements, the project budget, and high quality design. Over the past 10 years Carlos has been able to coordinate multiple projects simultaneously, independently, and in collaboration with associates and clients in all phases of architectural projects from schematic design to construction completion.

PROJECT EXPERIENCE

Florida Atlantic University: Recreation Center Phase I & II, Boca Raton, FL

CLIENT: Florida Atlantic University ■ VALUE: Phase I: 8M & Phase II: 7M

The overall facility consists of a 86,000 SF fitness, administration, and support building positioned around a central, two-story lobby. Work included: 11,000 SF of fitness with both cardio and strength equipment; office, conference, and reception areas; 2 two-court, multi-purpose gymnasiums; 5,300 SF of locker rooms; 2 studios; a 3,000 SF main lobby with a control desk, and food service area; an equipment checkout suite with laundry facilities; and an outdoor pool area.

Naples River Park Aquatic Center, Naples, FL

CLIENT: City of Naples ■ VALUE: 1.5M

A neighborhood aquatic facility located adjacent to an existing Community Center. The new pool consists of a six lane lap pool, a learn-to-swim area, and a zero entry area with a large play feature. The bath house includes men, women, and family restrooms, showers, and locker areas. The main entry building houses the lifeguard office, ticket booth, storage, kitchen, pump equipment, and a double height covered entry.

YMCA of South Dade Family Center, Miami, FL

CLIENT: YMCA of South Dade ■ VALUE: 7.8M

The contemporary complex includes a 40,000 SF, two-story main building with expansive glazing overlooking the adjacent street and showcasing the upper floor wellness areas. Included on the upper floor are 2 flexible fitness studios, stretching, storage, mini-lockers, trainer, and related areas. The main floor includes a two-court gymnasium, 2 multi-purpose meeting rooms, admin offices, facilities for childcare, and member locker rooms. The double height lounge overlooks the outdoor aquatics complex, lap/recreational pool, and 4,000 SF support building.

Carlos Manuel Veloso
Project Manager

"Carty Architecture has the unique ability of being both creative and practical. Their designs not only look but can be implemented, used, and enjoyed."

*Scott Davidson, CEO,
Gables International
Plaza*

OTHER RELEVANT EXPERIENCE

| | |
|--|----------------|
| SARASOTA NATIONAL CEMETERY, SARASOTA, FL | \$6.5 MILLION |
| BROWARD COLLEGE 50 & 51, COCONUT CREEK, FL | \$5.7 MILLION |
| BAR 91 RESTAURANT, PALM BEACH COUNTY, FL | \$245 THOUSAND |
| SOUTH FL NATIONAL CEMETERY, LAKE WORTH, FL | \$1.9 MILLION |
| PALM TERRACE RESTAURANT, PALM BEACH, FL | \$285 THOUSAND |
| SOUTH TERMINAL EXPANSION, MIAMI, FL | \$368 MILLION |

Paul A. Zilio
Senior Principal

EDUCATION

Bachelor of Science in Civil
Engineering
University of Michigan
April 1981
Major: Civil Engineering

PROFESSIONAL EXPERIENCE

Experience Prior to BNI: 5
years
With BNI since 1986

**PROFESSIONAL
REGISTRATIONS**

Licensed Professional
Engineer – Florida
Certified Special Inspector –
Florida

**PROFESSIONAL
ASSOCIATIONS**

American Institute of Steel
Construction
Florida Structural Engineering
Association
National Council of
Examiners for Engineering
and Surveying

SUMMARY OF QUALIFICATIONS

Paul worked in a variety of roles for a major general contractor and became a Certified General Contractor prior to joining Bliss & Nyitray, Inc. (BNI). Since joining BNI, Paul has worked on a number of design-build projects and often served as Threshold Inspector. These experiences have given Paul a unique insight into partnering and the value of good and timely communication and have helped lead BNI to recommendations by a number of contractors.

Paul has designed a variety of structural systems, including cast-in-place concrete, composite precast concrete, tilt-up concrete, and structural steel. He works closely with designers and builders, regardless of delivery method, to make structural decisions that balance aesthetics, constructability, cost and schedule.

PROJECT EXPERIENCE

Ransom Everglades Aquatic Center, Coconut Grove, FL

- Add an Olympic-size pool, a training pool, pool deck, grandstands, covered parking, lockers, showers, offices and other support structures.
- Principal in Charge

Miami Springs Pool-50-Yr Recertification, Miami Springs, Florida

- 40-year re-certification of pool and surrounding facilities.
- Principal in Charge, Inspections

Dinner Key Dockmaster Building, Coconut Grove, Florida

- Four-story, 8400-SF building located in a VE flood zone
- Principal In Charge

GSA Trade Shop Facility, Miami, Florida (Design/Build)

- 100,000-SF trade warehouse including a 20,000-SF office/storage space mezzanine, and parking for 214-cars
- Principal In Charge, Engineer of Record, Threshold Inspector

Florida Keys Aqueduct Authority Customer Service Center, Marathon, Florida

- New 7,000-SF, 2-story Customer Service Building of FKAA office space, community facilities, and related support functions.
- Principal In Charge, Engineer of Record, Project Manager

Village of Islamorada Municipal Center, Islamorada, Florida (Design Only)

- City Hall, Fire station, and hurricane shelter designed for 175 mph winds.
- Engineer of Record, Project Manager

Paul A. Zilio
Senior Principal

North County Government Center, West Palm Beach, Florida (Design-Build)

- 72,000-SF Addition and 32,000-SF Renovation of an existing 2-story courthouse building
- Concrete columns, composite precast concrete floors and roof.
- Project Manager, Project Engineer

Miami Coral Park High School Addition, Miami, Florida (Design-Build)

- 1700-student station addition with hurricane shelter designed for 186 mph.
- The construction of the project was coordinated to maintain a fully functioning campus.
- Principal In Charge, Engineer of Record, Project Manager

Key Biscayne Education Center, Key Biscayne, Florida (Design-Build)

- 80,000-SF Middle School Classroom and parking addition.
- Masonry bearing walls, composite precast floors, bar joist roof.
- Principal In Charge, Engineer of Record, Project Manager

Jorge Mas Canosa Middle School, Miami, Florida (Design-Build)

- 2232-student station middle school.
- Principal-in-charge, Engineer of Record, Project Manager

Norma Butler Miller Elementary, Miami, Florida (Design-Build)

- 1068-student elementary school.
- Principal-in-charge, Engineer of Record, Project Manager

Country Club Middle School, Miami, Florida (Design-Build)

- 1662-student station middle school with hurricane shelter.
- Tilt-up wall panels, composite precast concrete floors, bar joist roof.
- Principal in Charge, Engineer of Record, Project Manager

Doral Middle School, Doral, Florida (Design-Build)

- 1300-student station middle school with hurricane shelter designed with +40 mph above code required wind speed.
- Masonry bearing walls, composite precast floors, bar joist roof.
- Engineer of Record, Project Manager, Project Engineer

William Caycedo
Principal

EDUCATION

Bachelor of Science in
Engineering
New York City College 1978
Major: Structural Engineering

PROFESSIONAL EXPERIENCE

Experience Prior to BNI:
7years
With BNI Since 1985

**PROFESSIONAL
REGISTRATIONS**

Licensed Professional
Engineer -
Florida, Puerto Rico, U.S.
Virgin Islands
Certified Special Inspector –
Florida

**PROFESSIONAL
ASSOCIATIONS**

American Institute of Steel
Construction

Florida Structural Engineering
Association

Light Gauge Steel Engineers
Association

National Council of Examiners
for Engineering and Surveying

SUMMARY OF QUALIFICATIONS

William has over three decades of experience in the field of structural engineering, a significant portion of that with Bliss & Nyitray, Inc. William takes a hands-on approach to engineering and is very involved in projects, particularly at the early stages by setting up structural concepts and system after comparison studies of various framing systems considering aesthetics, constructability, and economy. His quiet approach to leadership ensures team interaction and participation resulting in projects that are delivered on schedule and uphold BNI's standards of the highest quality.

PROJECT EXPERIENCE

Ransom Everglades Aquatic Center, Coconut Grove, FL

- Add an Olympic-size pool, a training pool, pool deck, grandstands, covered parking, lockers, showers, offices and other support structures.
- Project Manager, Project Engineer, Threshold Inspector

Lago Mar Resort & Club, Fort Lauderdale, Florida

- Six-story, 72 units, 78,000-SF includes design of site structures and pool foundations.
- Principal in Charge, Engineer of Record

The Palace, Coral Gables, Florida

- Two buildings, a 9-Story, 246,000 SF assisted living facility with pool at ground level, and an 8-story parking structure for 565 cars.
- Principal In Charge, Engineer of Record, Threshold Inspector

Giralda Complex, Coral Gables, Florida

- 10-story mixed use building includes parking (including subgrade), retail, office, and residential including Elevated amenities deck with pool
- Principal In Charge, Engineer of Record, Threshold Inspector

Paseo Caribe Plaza, San Juan, Puerto Rico

- Mixed use building with three levels of retail, entertainment and five levels of residential units above
- Amenities on 4th level including pool & spa.
- Engineer of Record, Project Manager

1300 Ponce de Leon, Coral Gables, Florida

- Twelve story mixed use tower, including four levels of retail and parking followed by residential units with 5th level amenities deck with pool
- Engineer of Record, Threshold Inspector, Project Manager

William Caycedo
Principal

Grand Central at Kennedy, Tampa, Florida

- 1,400,000 SF mixed-use development spanning two city blocks in the heart of the Channel Side district of downtown Tampa. These buildings house 378 luxury residential condominiums, a community theater, an art gallery, retail areas, restaurants, office spaces, two swimming pools and 6 levels of parking for 1300 cars
- Project Engineer

Hotel MIA Pool Deck, Miami, Florida

- Renovations to the pool deck of Miami Int'l Airport Hotel.
- Principal in Charge, Engineer of Records, Project Manager

Four Seasons Resort, Nevis, West Indies

- Twelve 2-story buildings, 196 units, There are three restaurants, two oceanfront pools, a spa, health club, and meeting rooms. It also includes 10 tennis courts, and a facility that wraps around the central plaza of the Sports Pavilion.
- Project Manager, Project Engineer

The Palace Residences, Coral Gables, Florida

- 9-Story, 246,000 SF, 243-unit assisted living facility with a pool on ground level.
- Principal In Charge, Engineer of Record, Threshold Inspector

100 Andalusia, Coral Gables, Florida

- Eight-level, U-shaped, 103 high end residential units with a pool on ground level.
- Engineer of Record, Threshold Inspector, Project Manager

City of Palms Sports Complex, Ft. Myers, Florida

- 7000-seat baseball stadium
- Design features a cable stayed canopy covering entire seating area
- Engineer of Record, Project Manager, Project Engineer

Lee County Sports Complex, South Ft. Myers, Florida

- 7500-seat baseball stadium for Minnesota Twins spring training facility and community recreation facility
- Engineer of Record, Project Manager, Project Engineer

William Caycedo
Principal

Homestead Sports Complex, Homestead, Florida

- 6500-seat baseball stadium -Spring training facility and community recreation facility
- Engineer of Record, Project Manager, Project Engineer

Roger Dean Stadium, Jupiter, Florida

- 7500-seat baseball stadium
- Engineer of Record, Project Manager, Project Engineer

Gulfstream Park Racetrack Clubhouse and Casino, Hallandale Beach, Florida (Design/Build)

- 500,000-SF Racetrack facility with a clubhouse and casino, and Ancillary buildings including four dormitory buildings.
- Engineer of Record, Project Manager

Dorothy Quintana Community Center, Miami, Florida

- New one-story, 9,125 SF community center at Roberto Clemente Park
- Threshold Inspector

Royal Oaks Community Center, Miami Lakes, Florida

- This DCP project consists of an 8,172-SF multipurpose space, a pre-function area, administrative offices, toilet rooms, storage rooms and other supporting spaces.
- Project Manager

Manuel P. Montoya, P.E.
M/E Engineering Principal-in-Charge

ENGINEERING EXPERIENCE

28 Years

EDUCATION

Bachelor of Science in
Electrical Engineering
1989

REGISTRATION

State of Florida PE #66220

ORGANIZATIONS

IAEI (Int'l. Association of Electrical Inspectors)
SAVE International

"On behalf of South Miami Middle Community School, Dr. Lisa R. Robertson and the entire Administrative Team, I would like to thank you for donating your time, expertise and service in regards to the PTSA Auditorium sound and lighting project. Words cannot express our gratitude. It is because of outstanding and involved business leaders like you and organizations like SDM that we are able to offer our students the world. We appreciate having you as a Dade Partner and truly welcome your support."

Eric Acosta
Assistant Principal
School Operations and
Community Relations
South Miami, Florida

SUMMARY OF QUALIFICATIONS

Mr. Montoya has over 28 years of experience and is the Principal in charge of the Firm's managerial decisions. In this position, he is responsible for ensuring that all individual design departments have the necessary resources for the timely completion of project tasks.

PROJECT EXPERIENCE

Vizcaya Park Community Center (LEED Gold for New Construction)

CLIENT: City of Miramar ■ VALUE: \$2M

A 7,660 gsf single-story Community Center building. This facility includes spaces for recreation, computer education/activity, gaming, park concessions, an office, and other support functions.

Royal Oaks Park Community Center (LEED Gold for New Construction)

CLIENT: Town of Miami Lakes ■ VALUE: \$2.2M

A single-story, multi-use, 8,172 gross sf air-conditioned Clubhouse/ Gymnasium community center building located within the heart of a residential community in the Town of Miami Lakes. The center contains a large multipurpose space, administrative offices, toilet rooms, storage rooms, and other supporting spaces. The park offers: 4 athletic fields for football and soccer, open playfields, a playground, picnic pavilions, an exercise/bike trail, and a concession stand. This project has achieved a LEED Gold Certification.

Melreese Golf Training Facility (LEED Gold for New Construction)

CLIENT: City of Miami ■ VALUE: \$1.4M

An instructional golf facility located adjacent to the existing practice range and new clubhouse of approximately 5,000 sf. The facility contains a large assembly/classroom area, three enclosed bays facing the practice range, two offices, a storage area, restrooms, and a kitchenette and vending area. It also has a pre-fabricated canopy over the existing practice range and connecting walkways to the new clubhouse and parking lot.

Arcola Lakes Park, Senior Center & Pool Building

CLIENT: Miami-Dade County Parks & Recreation Department ■ VALUE: \$6.3M

A new one-story, 14,220 sq. ft. facility specifically designed for use by senior residents, age 55 and older. It is completely ADA accessible and features a covered passenger drop-off entrance, lobby and reception area. This facility is inclusive of offices, exercise room, entertainment rooms with flat screen televisions, arts & crafts room, locker rooms, kitchen and a large banquet hall/meeting room. The exterior of the facility also includes a 30,000 gallon, 20' x 50', exercise pool.

Ernesto Aloma, P.E.
Chief Electrical Engineer

ENGINEERING EXPERIENCE
23 Years

EDUCATION
Bachelor of Science in
Electrical Engineering
1991

REGISTRATION
State of Florida PE #53823

ORGANIZATIONS
IEEE (Institute of Electrical & Electronic Engineers)
NSPE (National Society of Professional
Engineers)

“On behalf of South Miami Middle Community School, Dr. Lisa R. Robertson and the entire Administrative Team, I would like to thank you for donating your time, expertise and service in regards to the PTSA Auditorium sound and lighting project. Words cannot express our gratitude. It is because of outstanding and involved business leaders like you and organizations like SDM that we are able to offer our students the world. We appreciate having you as a Dade Partner and truly welcome your support.”

Eric Acosta
Assistant Principal
School Operations and
Community Relations
South Miami, Florida

SUMMARY OF QUALIFICATIONS

Mr. Aloma has over 23 years of experience in Electrical Engineering Design. He is the Principal in charge of the Firm’s design decisions. In this position, he is responsible for ensuring the utmost level of quality for the various design components of all projects.

PROJECT EXPERIENCE

Vizcaya Park Community Center (LEED Gold for New Construction)

CLIENT: City of Miramar ■ VALUE: \$2M

A 7,660 gsf single-story Community Center building. This facility includes spaces for recreation, computer education/activity, gaming, park concessions, an office, and other support functions.

Royal Oaks Park Community Center (LEED Gold for New Construction)

CLIENT: Town of Miami Lakes ■ VALUE: \$2.2M

A single-story, multi-use, 8,172 gross sf air-conditioned Clubhouse/ Gymnasium community center building located within the heart of a residential community in the Town of Miami Lakes. The center contains a large multipurpose space, administrative offices, toilet rooms, storage rooms, and other supporting spaces. The park offers: 4 athletic fields for football and soccer, open playfields, a playground, picnic pavilions, an exercise/bike trail, and a concession stand. This project has achieved a LEED Gold Certification.

Melreese Golf Training Facility (LEED Gold for New Construction)

CLIENT: City of Miami ■ VALUE: \$1.4M

An instructional golf facility located adjacent to the existing practice range and new clubhouse of approximately 5,000 sf. The facility contains a large assembly/classroom area, three enclosed bays facing the practice range, two offices, a storage area, restrooms, and a kitchenette and vending area. It also has a pre-fabricated canopy over the existing practice range and connecting walkways to the new clubhouse and parking lot.

Arcola Lakes Park, Senior Center & Pool Building

CLIENT: Miami-Dade County Parks & Recreation Department ■ VALUE: \$6.3M

A new one-story, 14,220 sq. ft. facility specifically designed for use by senior residents, age 55 and older. It is completely ADA accessible and features a covered passenger drop-off entrance, lobby and reception area. This facility is inclusive of offices, exercise room, entertainment rooms with flat screen televisions, arts & crafts room, locker rooms, kitchen and a large banquet hall/meeting room. The exterior of the facility also includes a 30,000 gallon, 20' x 50', exercise pool.

Jose I. Martinez, P.E., LEED A.P.

Chief Mechanical Engineer

ENGINEERING EXPERIENCE

20 Years

EDUCATION

Bachelor of Science in
Mechanical Engineering
1994

REGISTRATION

State of Florida PE #53779

ORGANIZATIONS

GBCI LEED AP, Since 2009
ASHRAE
SAVE International

"On behalf of South Miami Middle Community School, Dr. Lisa R. Robertson and the entire Administrative Team, I would like to thank you for donating your time, expertise and service in regards to the PTSA Auditorium sound and lighting project. Words cannot express our gratitude. It is because of outstanding and involved business leaders like you and organizations like SDM that we are able to offer our students the world. We appreciate having you as a Dade Partner and truly welcome your support."

Eric Acosta

**Assistant Principal
School Operations and
Community Relations
South Miami, Florida**

SUMMARY OF QUALIFICATIONS

Mr. Martinez is a Mechanical Engineer with over 20 years of experience. He is the Associate in charge of the Mechanical Engineering Systems Design and Construction Management Services for the Firm overseeing the implementation of the intended design of the various engineering systems into the building.

PROJECT EXPERIENCE

Vizcaya Park Community Center (LEED Gold for New Construction)

CLIENT: City of Miramar ■ VALUE: \$2M

A 7,660 gsf single-story Community Center building. This facility includes spaces for recreation, computer education/activity, gaming, park concessions, an office, and other support functions.

Royal Oaks Park Community Center (LEED Gold for New Construction)

CLIENT: Town of Miami Lakes ■ VALUE: \$2.2M

A single-story, multi-use, 8,172 gross sf air-conditioned Clubhouse/ Gymnasium community center building located within the heart of a residential community in the Town of Miami Lakes. The center contains a large multipurpose space, administrative offices, toilet rooms, storage rooms, and other supporting spaces. The park offers: 4 athletic fields for football and soccer, open playfields, a playground, picnic pavilions, an exercise/bike trail, and a concession stand. This project has achieved a LEED Gold Certification.

Melreese Golf Training Facility (LEED Gold for New Construction)

CLIENT: City of Miami ■ VALUE: \$1.4M

An instructional golf facility located adjacent to the existing practice range and new clubhouse of approximately 5,000 sf. The facility contains a large assembly/classroom area, three enclosed bays facing the practice range, two offices, a storage area, restrooms, and a kitchenette and vending area. It also has a pre-fabricated canopy over the existing practice range and connecting walkways to the new clubhouse and parking lot.

Arcola Lakes Park, Senior Center & Pool Building

CLIENT: Miami-Dade County Parks & Recreation Department ■ VALUE: \$6.3M

A new one-story, 14,220 sq. ft. facility specifically designed for use by senior residents, age 55 and older. It is completely ADA accessible and features a covered passenger drop-off entrance, lobby and reception area. This facility is inclusive of offices, exercise room, entertainment rooms with flat screen televisions, arts & crafts room, locker rooms, kitchen and a large banquet hall/meeting room. The exterior of the facility also includes a 30,000 gallon, 20' x 50', exercise pool.

Cary A. Dennis
President – Project Executive

ENGINEERING/CONSTRUCTION EXPERIENCE

25 Years

EDUCATION

Bachelor of Science –
Mechanical Engineering
Masters of Science –
Mechanical Engineering

CERTIFICATIONS

OSHA 30
CPR/First Aid Certified
CPO Certified

“Mr. Dennis and Capri Pools completed a very difficult project that started 8 weeks late due to health department review delays. As you can imagine this put an incredible strain on the project. Capri Pools rolled up their sleeves and offered scheduling overlapping solutions to complete the project on time.

Jim Lopez
Vice President
Broeren Russo Const.

SUMMARY OF QUALIFICATIONS

Cary has been involved with aquatic specific design and construction for over 25 years. He has been involved with countless aquatic projects throughout the United States that have won Athletic Business Design Awards. Also, Cary and Capri Pools have won numerous Concrete Council Quality Awards for Excellence. Cary works very closely with clients, architects, fellow engineers and construction crews to assure quality throughout every stage of design and construction.

PROJECT EXPERIENCE

City Park Pool – Manhattan, Kansas

CLIENT: City of Manhattan, Kansas ■ VALUE: \$7.5M

After completing a design/build spray ground for the City, Capri was awarded a contract for the design/build of the City Park Pool Project. This new 23,323 sf. facility includes a 50M competition pool, lazy river, tot and plunge pool. Features include the First Stingray Machine in the United States, a Wet Bubble, several slides, play structures, floatables and a lily pad walk along with several other features. Capri began demolition in October 2009 and was completed with this project in July 2010.

Rogers Aquatic Center

CLIENT: City of Rogers, Arkansas ■ VALUE: \$4M

The new aquatic center will consist of 5 bodies of water totaling 18,172 sf of water surface and includes a competition, leisure, lazy river, plunge and tot pools. There will also be a 1,992 sf spray ground that will have more than 10 spray features. The tot pool will include 2 interactive play features and a fish slide. Other slides throughout the facility will include an open and enclosed flume, splash-bowl and dual speed slides. The pools will be equipped with basketball, volleyball & floatables. The pool finishes will consist of tile and epoxy paint.

YMCA – Champaign, Illinois

CLIENT: YMCA ■ VALUE: \$1.6M

This YMCA includes 3 indoor bodies of water with 7,648 sf of water surface. There is an 8 lane lap pool, a separate leisure pool with a zero entry, waterslide, and two lap lanes. Also included is a Therapy pool (90 deg) with an underwater bench and access ramp. All pools have a tile gutter overflow systems and a diamond brite plaster finish.

Cary A. Dennis
President – Project Executive

I am writing to endorse Cary Dennis and Capri Pools for the extremely professional job performed by Capri Pools and Aquatics in the City Park Pool project in Manhattan, Kansas. The project consisted of removing a 70 year old WPA-era 50 meter swimming pool and bathhouse and replacing it with a new, full service Aquatic Center. This was a \$7.5 million dollar Design-Build project approved by voters through a temporary sales tax. It involved The design services and aquatic construction knowledge of Capri Pools and numerous sub-contractors for the construction of a new 50 meter pool and large leisure pool.

Curt Loupe
Parks and Rec Director
Manhattan, Kansas

Trotwood-Madison City Schools, Trotwood, OH

CLIENT: Trotwood-Madison City School District ■ VALUE: \$75M ■ ROLE: CM

The construction project, district-wide project for the Trotwood-Madison City School district. Phase I consisted of a 231,000 SF new high school, with a centralized media center, special education classrooms, science rooms, art rooms and life skills rooms. The project also included a 500-seat auditorium, natatorium, multiple gymnasiums, football stadium, eight-lane track and field, and soccer field and tennis courts.

OTHER RELEVANT EXPERIENCE

| | |
|--|----------------------|
| O’Fallon Park Recreation Complex – St Louis, MO | \$2.1 MILLION |
| Sunset Hills Aquatic Facility – Sunset Hills, MO | \$1.3 MILLION |
| Reynolds Aquatic Facility – Pauls Valley, OK | \$1.6 MILLION |
| White Birch Park Aquatic Facility – Hazelwood, MO | \$4.6 MILLION |
| Gemini Aquatic Facility - Cleveland, OH | \$1.8 MILLION |

Laura M. Llerena-Hernandez
President

LANDSCAPE ARCHITECTURE
EXPERIENCE

21 Years

EDUCATION

Associates Degree in
Liberal Arts, Miami-Dade
Community College,
Spring 1993.
Bachelor's Degree in
Architectural Technology,
Florida International
University, Summer 1997.
Landscape (Grading) Site
Design course – Florida
International University –
Fall 2003.

CERTIFICATIONS

Florida Registered
Landscape Architect #
LA6667125

SUMMARY OF QUALIFICATIONS

With over 21 years of landscape architectural management experience, Ms. Llerena-Hernandez's involvement is comprehensive and in-depth with each project regardless of the magnitude. Her contribution starts at the preliminary design stage and continues throughout the different design development stages.

PROJECT EXPERIENCE

Port of Miami Tunnel, Miami, Fl.

CLIENT: FDOT/Port of Miami ■ VALUE: \$1 Billion

Services for this project included site analysis of Watson and Dodge Islands. On Dodge Island we were responsible for identifying and sizing approximately 500 existing trees that were within our limits of work. As a result of the new tunnel and roadways, many of the existing trees had to either be removed or relocated. Our office was responsible for permitting all proposed removals and mitigating approximately 200 trees that had to be removed. Since this was a design-build project, our office had to work within a given budget and base our design on a conceptual plan that had been initially developed. Based on the concept plan, we developed landscape and irrigation plans at the 30%, 60%, 90% and 100% milestones. In addition we attended numerous meetings and presentations with local officials and key team members to ensure the quality of the work our office developed and for coordination purposes. Project has been completed.

Ransom Everglades Aquatic Center, Coconut Grove, Fl

CLIENT: Ransom Everglades School ■ VALUE: \$8 Million

This project consisted of the development of a new pool facility and adjacent parking area for Ransom Everglades School. Our scope consisted of a visual site analysis (in order to verify type and sizes of existing trees), the preparation of an existing tree/mitigation plan, the preparation of a draft DERM permit and the preparation of Landscape and Irrigation Design Development Documents through Construction Documents. Project has been completed.

Crandon Park Marina, Miami, Fl

CLIENT: Miami-Dade Parks ■ VALUE: \$3.5 Million

This project consisted of the improvement and beautification of the Crandon Park Marina. Crandon Boulevard has extensive landscaping so it was the intent of the owner to create the same tropical and welcoming impact for this project. Prior to the start of design work our office performed a thorough site analysis in where we identified and sized all existing trees and where we identified areas of concern and potential. Considering the amount of trees on the site it was our intent to keep and utilize as many of them as possible. Those that had to be removed or relocated had to be permitted through DERM. In addition our scope also included preparation of landscape and irrigation design development documents through construction documents. Several coordination meetings were also held throughout the design process. Construction administration services were provided during the construction phase.

Jason Korose
Senior Project Manager

**LANDSCAPE
ARCHITECTURE
EXPERIENCE**
12 Years

EDUCATION
Bachelor's Degree in
Landscape Architecture,
Ball State University,
Muncie, Indiana - May
2000

CERTIFICATIONS
Degree in Landscape
Architecture

SUMMARY OF QUALIFICATIONS

Mr. Korose has a Degree in Landscape Architecture with professional experience project management. He conducts all project correspondence necessary (such as attending meetings and participating in phone conferences) to keep projects moving forward. He prepares a variety of design documents based upon client needs and local/state codes. He works "in field" to analyze sites features before preparing designs as well as construction administration (inspections) to make sure that the projects are built according to the design documents.

PROJECT EXPERIENCE

Wright Patterson Air Force Base, Dayton, Ohio

CLIENT: USACE Medical Facilities ■ VALUE: \$99 million

Our scope of work involved the planning and design of an outdoor dining and garden area. Work involved demolishing of the existing structures and removal of existing trees. Our office prepared working and construction documents for a new outdoor dining area that consisted of hardscape, landscape, landscape lighting and site amenity placement and specification. Project is currently under construction.

Miami-Dade County – Historic Hampton House restoration

CLIENT: Miami Dade County OCED ■ VALUE: \$3.5 Million

This project consisted of the restoration of the Historic Hampton House. This was a luxurious hotel at one time whose guests included Martin Luther King and Mohammed Ali. The objective was to restore it to its original condition both inside and out – while providing for a more modernized Construction and modernized amenities. Our scope of work included Historical research and documentation. A thorough site analysis was imperative. Our scope also included the preparation of preliminary landscape plans for submittal to and review by the historic preservation board. Once approval was obtained we proceeded to prepare landscape and irrigation construction documents. In addition to the design work, we attended several coordination meetings. Construction Administration is also included as part of our basic services. Project is currently under construction.

Parsons Odebrecht JV – MIA Mover, Miami, Fl

CLIENT: Miami-Dade Aviation Department ■ VALUE: \$3.5 Million

This was a "Design-Build" project. Certain parameters were set for the landscape design portion that we had to abide to. Whatever wasn't set in the criteria required numerous coordination meetings with the MDAD Landscape Architect. Our professional services included site analysis to identify/size all existing trees and to identify any potential areas of concern for our limit of work. Monthly coordination team meetings were held to make this a very tight design package. In addition we provided for landscape mitigation drawing and assisted with DERM permitting to take into account any existing trees that required removal or relocation. Landscape Construction documents were provided for the proposed track area, underneath the passenger station and for several substations. Project has been completed.

Gregory Mendez, P.E.
Senior Engineer

ENGINEERING EXPERIENCE

15 Years

EDUCATION

Bachelor of Engineering,
Architectural Engineering,
University of Miami, 1998

CERTIFICATIONS

Professional Engineer,
Florida, 64718, 2006



SUMMARY OF QUALIFICATIONS

Mr. Mendez has more than 15 years of civil engineering experience in site and infrastructural development type projects for public and private facilities. He has extensive utilities design experience and is also very experienced with fast track projects. His experience includes water, drainage and sewer designs, design reviews, managing designs and construction budgets, managing field inspection staff and managing client relations.

PROJECT EXPERIENCE

Ahfachkee K-12 School Campus. Chen Moore and Associates (CMA) provided civil engineering and landscape architecture services as part of the Zyscovich Architects team civil engineering and landscape architecture services for design, permitting and construction administration services for the proposed new Ahfachkee school campus on a 25 acre segment of 197 acres located on the Big Cypress Reservation of the Seminole Tribe of Florida. The Project includes the design, permitting, and construction administration of an approximately 92,000 SF, including buildings (one story) including facilities for elementary school, middle school, high school, auxiliary and vocational uses including a large canopy. The project includes the design of a stormwater management system for the initial phase and direction for future phases, incorporating the design of sports fields, parking, pedestrian paths and spine roads as appropriate. CMA's civil engineering services include the stormwater management, water & sewer within the site including the design of a sanitary lift station addressing the current and future needs of the campus. CMA's landscape architecture services include site layout, hardscape, landscape and irrigation design. The project scope includes design development, preparation of construction documents, bid specifications, permitting through the various STOF departments, bidding assistance and construction administration.

Broward County Aviation Department – FLL Terminal 4 Civil Works. Task Manager responsible for producing and coordinating engineering plans associated with the relocation and upgrade of all airside utilities for the Terminal 4 Expansion project. Utilities potable water mains, sanitary sewer mains, pressurized sanitary sewer force mains and the evaluation of the existing sewer pump stations. Project also included the design of the new passenger loading bridge for Gate F2, Terminal 3.

Broward County Aviation Department – FLL Hydrant Fueling System Design. Task Manager and engineer of record responsible for producing and coordinating engineering plans associated with the replacement of the existing 12" jet fuel pipeline around Terminal 4 with a 14" new fuel pipeline. This replacement was one of the "enabling" projects for the Terminal 4 expansion project. The project included the design of several pipeline valve vaults, an emergency fuel shut-off and leak detection system and the relocation of the fuel hydrant pit at Gate F2 at Terminal 4 to provide the proper separation to the proposed security access bridge joining Terminal 3 to Terminal 4.

Greg Mendez, P.E.
Senior Engineer

OTHER RELEVANT EXPERIENCE

Miami-Dade Water and Sewer Department Need Assessment Program UWMR187A. The project consisted of furnishing and installing approximately 4790 linear feet of 8-inch ductile iron pipe, 108 linear feet of 6-inch ductile iron pipe, 60 feet of 4" ductile iron pipe and 18 feet of 2" galvanized steel pipe of water main Along NW 99th street and NW 100th street from NW 36 court to NW 32 avenue, Miami-Dade County, Florida, 33147. It also included furnishing and installing ten (10) fire hydrant assemblies, seventy-one (71) 1-inch single service connections (short); seventy-six (76) 1-inch single service connections (long) at the aforementioned project address.

SW 66th Street Corridor Infrastructure Improvement – City of South Miami. Project Manager, providing all aspects of general engineering planning, design, studies and construction administration for the City of South Miami to prepare 100% engineering drawings for the SW 66 Street Improvements - Phase II; from SW 59th Place to SW 61 Court. Plans were developed with South Miami Public Works Department criteria, Miami-Dade County Public Works Department and the Miami-Dade Department of Environmental Resource Management (DERM) criteria.

Pine Island Roadway Improvements : 30 inch DIP Water main- Broward County Public Works Dept. Provided 100% construction documents for the design of the new 30 inch DIP water main within Pine Island Road from south of Oakland Park Blvd. to north of NW 57 Street. This project involved the replacement of approximately 2,650 LF of existing 30" spiral-welded steel pipe with a new 30" DIP pipe. Special challenges included the design of a unique thrust block, coupler system and construction sequencing to connect the proposed DIP main to the existing spiral-welded steel.

Pump Station Rehabilitations – City of Pompano Beach. Project Manager for the rehabilitation of existing sanitary sewer pumping stations LS-65 and LS-81 within the City of Pompano Beach. Scope of work included the complete replacement of all pumps, electrical panels, electrical services, valves and piping. The existing structures were utilized. Disciplines included water, sewer and pump design, and electrical design.

Pump Station Rehabilitations – City of North Miami Beach. Senior Engineer for the rehabilitation of 5 existing sanitary sewer pumping stations around the City of North Miami Beach. Scope of work included the demolition of above ground facilities and structures and the conversion from suction-lift type configurations to submerged pumps with separate, new valve vaults. The pump station design efforts were undertaken in a fast-track type format in order to help the client meet their funding deadlines. Disciplines included water, sewer and pump design, paving/grading, structural and electrical design.



Jose Acosta, P.E.

Vice President of Marketing/Branch Manager - Miami

ENGINEERING EXPERIENCE

15 Years

EDUCATION

*Masters of Business
Administration, Master of
Business Administration,
Auburn University, 2003*

*Bachelor of Science, Civil
Engineering, University of
Miami, 1999*

*Bachelor of Science,
Architectural Engineering,
University of Miami, 1999*

CERTIFICATIONS

*Professional Engineer,
Florida, 63827, 2004*

*Natl. Council of Examiners
for Eng. & Surveying, 41987*



SUMMARY OF QUALIFICATIONS

Mr. Acosta has over 15 years of design and project management experience in various industries, including municipal continuing service contracts, K-12 education, higher education, healthcare, transportation, and commercial/residential/industrial private development. His background includes neighborhood improvement projects, streetscape enhancements, utility relocation, on- and off-site infrastructure design, bidding assistance and construction administration services for several municipalities throughout Miami-Dade, Broward and Palm Beach Counties.

PROJECT EXPERIENCE

Cooper City Soccer Park. Chen Moore and Associates designed and permitted the earthwork and master drainage system for the proposed Cooper City Soccer Park. The task included planning for the ultimate build-out of the site by the City and included permitting through the Central Broward Water Control District and the South Florida Water Management District including addressing on-site proposed wetland mitigation and expanding two adjacent CBWCD canals adjacent to the site. Scope included bidding assistance, construction administration and close out.

Westside Park Baseball Field. Chen Moore and Associates provided design, permitting and construction engineering inspection services for the conversion of an existing football field to one little league baseball field and one practice baseball field for the City of Deerfield Beach Parks and Recreation Department. The 15 acre park has two lighted basketball courts, a football field with concession stand, two lighted tennis courts, a full service recreation center, full size gym, picnic areas and a newly renovated playground. CMA was responsible for providing survey, geotechnical, engineering, landscape architecture, MEP and structural engineering services. The scope of the project included the layout of the baseball fields with lighting, dugouts, scoreboards, irrigation, general improvements, pedestrian access, ADA parking, sidewalk improvements, native landscaping, outdoor seating areas and stormwater improvements.

Aventura Parking Garage. Chen Moore and Associates provided civil engineering services on the proposed parking garage to serve the municipal center, library and police station for the City of Aventura, FL. The project proposed a 200 car parking garage (one additional deck) adjacent to Aventura's Government Center building. The project includes integration of the police fueling facilities into the building site plan as well as equipment storage and K-9 facilities on the ground floor.

Jose Acosta, P.E.

Vice President of Marketing/Branch Manager - Miami

OTHER RELEVANT EXPERIENCE

FIU-Biscayne Bay Campus Student Housing. Chen Moore and Associates currently works as a subconsultant to PGAL for the design, permitting and construction administration of a new 595 bed student dormitory on the Biscayne Bay Campus of Florida International University. The public private partnership led by the development firm Servitas, provides a state of the art living facility for FIU's students with stunning views of Biscayne Bay. CMA's responsibilities include providing all site services for the project including survey, geotechnical, civil and landscape services. The site program includes a resort style swimming pool with hammocks, barbecue areas, outdoor seating, and cabana, bicycle parking facilities, pedestrian pathways, site seating and a 300 space parking facility. Sandwiched between the Kovens Conference Center and the Marine Sciences building, the five acre site offers many challenges including naturally low topography, sensitive mangrove areas and poor draining soils. CMA is applying its experience with Low Impact Development (LID) techniques to provide site design in the highly constrained site. The project is being designed to a LEED silver standard.

Miami Gardens YMCA/FC Barcelona Soccer Field. CMA worked with Borrelli Architects to design the demolition, earthwork, paving, grading, drainage, landscape architecture and irrigation plans for a park master plan that included professional level soccer field, a baseball field and a multi-purpose field (flag football and soccer) within the existing property adjacent to the existing YMCA Miami Gardens facility located in Miami Gardens. The scope included final design for the professional level soccer field including the earthwork and mainline drainage noted above. Services include government permitting with PERA (formerly DERM) and Miami Gardens, bidding assistance, construction observation and closeout services.

North Shore Bandshell Park Improvements. This project consists of proposed improvements to the existing Bandshell Park located east of Collins Avenue between 72nd and 73rd Streets within the City of Miami Beach. The project includes a new walkway connecting the park to the beachwalk at 72nd Street; the widening of the south sidewalk at 73rd Street which will require either the removal or reconfiguration of on-street parking; the demolition of the bus shelter; landscaping, outdoor accent and security lighting; reconfiguration and/or addition of walkways; installation of an electronic marquee; installation of the "Beatles Mandala", a mosaic tile artwork; and new urban elements such as drinking fountains, trash containers and bike racks.



Patrick Kaimrajh, EIT
Associate Engineer

ENGINEERING EXPERIENCE

6 Years

EDUCATION

Master of Science, Civil
Engineering, North Carolina
State University, Raleigh,
2013

Bachelor of Science, Civil
Engineering, University of
Miami, 2010

CERTIFICATIONS

Engineer In Training, Florida,
1100014455, 2010



SUMMARY OF QUALIFICATIONS

Mr. Kaimrajh has six years of experience in civil engineering design, drafting, permitting and construction inspection. His design experience includes paving, drainage and stormwater management. He has prepared engineering drawings, cost evaluations, design reports and various permit applications. In addition, Mr. Kaimrajh has performed construction inspections for drainage installations and assisted in soil sampling activities. He also is skilled in AutoCAD Civil3D, familiar with FDEP Standard Operating Procedures (SOPs) for water sampling, and trained in FEMA Certified Benefit-Cost Analysis (BCA) software.

PROJECT EXPERIENCE

Westside Park Baseball Field. Chen Moore and Associates provided design, permitting and construction engineering inspection services for the conversion of an existing football field to one little league baseball field and one practice baseball field for the City of Deerfield Beach Parks and Recreation Department. The project is located in Westside Park, which is a 15 acre park located south of Hillsboro Boulevard, offering two lighted basketball courts, a football field with concession stand, two lighted tennis courts, a full service recreation center, full size gym, picnic areas and a newly renovated playground. CMA was responsible for providing survey, geotechnical, engineering, landscape architecture, MEP and structural engineering services. The scope of the project included the layout of the baseball fields with supporting services such as lighting, dugouts, scoreboards and irrigation. The project also included general improvements to the park around the baseball fields including better pedestrian access, ADA parking and sidewalk improvements, native landscaping, outdoor seating areas and stormwater improvements. The project is located in an underserved community of Deerfield Beach and provides access to improved parks and recreation services for the community.

Cooper City Soccer Park. Chen Moore and Associates designed and permitted the earthwork and master drainage system for the proposed Cooper City Soccer Park. The task included planning for the ultimate buildout of the site by the City and included permitting through the Central Broward Water Control District and the South Florida Water Management District including addressing on-site proposed wetland mitigation and expanding two adjacent CBWCD canals adjacent to the site. Scope included bidding assistance, construction administration and close out.

Patrick Kaimrajh, EIT
Associate Engineer

OTHER RELEVANT EXPERIENCE

FIU-Biscayne Bay Campus Student Housing. Chen Moore and Associates currently works as a subconsultant to PGAL for the design, permitting and construction administration of a new 595 bed student dormitory on the Biscayne Bay Campus of Florida International University. CMA's responsibilities include providing all site services for the project including survey, geotechnical, civil and landscape services. The site program includes a resort style swimming pool with hammocks, barbecue areas, outdoor seating, and cabana, bicycle parking facilities, pedestrian pathways, site seating and a 300 space parking facility. Sandwiched between the Kovens Conference Center and the Marine Sciences building, the five acre site offers many challenges including naturally low topography, sensitive mangrove areas and poor draining soils. CMA is applying its experience with Low Impact Development (LID) techniques to provide site design in the highly constrained site. The project is being designed to a LEED silver standard.

Miami Gardens YMCA/FC Barcelona Soccer Field. CMA worked with Borrelli Architects to design the demolition, earthwork, paving, grading, drainage, landscape architecture and irrigation plans for a park master plan that included professional level soccer field, a baseball field and a multi-purpose field (flag football and soccer) within the existing property adjacent to the existing YMCA Miami Gardens facility located in Miami Gardens. The scope included final design for the professional level soccer field including the earthwork and mainline drainage noted above. Services include government permitting with PERA (formerly DERM) and Miami Gardens, bidding assistance, construction observation and closeout services.

North Shore Bandshell Park Improvements. This project consists of proposed improvements to the existing Bandshell Park located in Miami Beach. The project includes a new walkway which will require either the removal or reconfiguration of on-street parking; the demolition of the bus shelter; landscaping, outdoor accent and security lighting; reconfiguration and/or addition of walkways; installation of an electronic marquee; installation of the "Beatles Mandala", a mosaic tile artwork; and new urban elements such as drinking fountains, trash containers and bike racks.

Orange Bowl Field at Carter Park. As part of its celebration of the National Title Game held at the Orange Bowl in January 2013, the Orange Bowl Committee hired the team of Carty Architecture (architecture) and Chen Moore and Associates (civil engineering) to design a synthetic turf football field and track within Joseph Carter Park in Ft. Lauderdale. CMA performed utility coordination, preliminary and final engineering design, government permitting, bidding assistance and construction observation services.





STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
CONSTRUCTION INDUSTRY LICENSING BOARD

| | |
|-----------------------|------------|
| LICENSE NUMBER | |
| | CGC1514246 |

The GENERAL CONTRACTOR
Named below IS CERTIFIED
Under the provisions of Chapter 489 FS.
Expiration date: AUG 31, 2016

BONILLA, PATRICIA C
LUNACON ENGINEERING GROUP CORP
16890 SOUTH DIXIE HWY
MIAMI FL 33157

ISSUED: 08/24/2014 DISPLAY AS REQUIRED BY LAW SEQ # L1408240003387

002859

Local Business Tax Receipt

Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

LBT

6164099

| | | |
|--|---|---|
| BUSINESS NAME/LOCATION LUNACON ENGINEERING GROUP CORP 16890 S DIXIE HWY MIAMI FL 33157 | RECEIPT NO. RENEWAL 6428122 | EXPIRES SEPTEMBER 30, 2015 <small>Must be displayed at place of business Pursuant to County Code Chapter 8A - Art. 9 & 10</small> |
| OWNER LUNACON ENGINEERING GROUP CORP Worker(s) 4 | SEC. TYPE OF BUSINESS 196 GENERAL BUILDING CONTRACTOR CGC1514246 | PAYMENT RECEIVED BY TAX COLLECTOR \$75.00 07/14/2014 ECHECK-14-139521 |

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.

The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.

For more information, visit www.miamidade.gov/taxcollector

003589

Local Business Tax Receipt

Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

LBT

6164099

| | | |
|--|--|---|
| BUSINESS NAME/LOCATION LUNACON ENGINEERING GROUP CORP 16890 S DIXIE HWY MIAMI FL 33157 | RECEIPT NO. RENEWAL 7007537 | EXPIRES SEPTEMBER 30, 2015 <small>Must be displayed at place of business Pursuant to County Code Chapter 8A - Art. 9 & 10</small> |
| OWNER LUNACON ENGINEERING GROUP CORP Employee(s) 1 | SEC. TYPE OF BUSINESS 213 SERVICE BUSINESS | PAYMENT RECEIVED BY TAX COLLECTOR \$75.00 07/14/2014 ECHECK-14-139521 |

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For more information, visit www.miamidade.gov/taxcollector





State of Florida

Minority, Women & Florida Veteran
Business Certification

Lunacon Engineering Group, corp

Is certified under the provisions of
287 and 295.187, Florida Statutes for a period from:

02/20/2014 to 02/20/2016

Craig J. Nichols
Craig J. Nichols, Secretary
Florida Department of Management Services




Office of Supplier Diversity • 9000 International Way, Suite 200 • Jacksonville, FL 32218 • (904) 887-0911 • www.osd.state.fl.us





**CERTIFICATE OF REGISTRATION
ISO 9001:2008**

Lunacon Construction Group
16890 South Dixie Highway
Miami, FL 33157

Has been granted the authority and license to use the TRC Registered Firm Symbol® and listed in the TRC, Inc. "Listing of Registered Firms" as qualified by the TRC Quality Management System Registration Program Agreement. This Registration is for the following scope:

**The provision, management and delivery of
construction services to a wide variety of facility
types.**

This certificate is based on an audit demonstrating Quality Management System conformance and evaluation in accordance with the requirements of ISO 9001:2008. Further clarification regarding the scope of this certificate and the applicability of ISO 9001:2008 may be obtained by contacting the organization.

JRB
President, The Registrar Company, Inc.

Current Term Date of Issue: August 9, 2013
Current Term Expiration: August 8, 2016

Certificate Number: TRC 00579

300 North Cobb Road, Suite 800 Richardson, TX 75080 800.946.3291

**SOUTHERN FLORIDA MINORITY SUPPLIER DEVELOPMENT
COUNCIL**

THIS CERTIFIES THAT

Lunacon Engineering Group Corp.

Has met the requirements for certification as a bona fide Minority Business Enterprise as defined by the National Minority Supplier Development Council, Inc. (NMSDC) and as adopted by the Southern Florida Minority Supplier Development Council.

**NAICS Code(s): 236115; 237990; 237110; 236220; 236116

**Description of their product/services as defined by the North American Industry Classification System (NAICS)

| | |
|------------------|--|
| February 4, 2014 | FL50352 |
| Issued Date | Certificate Number |
| February 1, 2015 | <i>Beatrice Louissaint</i> |
| Expiration Date | Beatrice Louissaint, President, SFMSDC |

By using your assigned (through NMSDC only) password, NMSDC Corporate Members may view the original certificate by logging in at: <http://www.nmsdc.org>



An affiliate of the National Minority Supplier Development Council, Inc. (NMSDC)



**LUNACON ENGINEERING
GROUP, CORP**
MEMBER SINCE 2008

ORGANIZATIONAL

The U.S. Green Building Council is the nation's foremost coalition of leaders working to transform the way buildings and communities are designed, built, and operated, enabling an environmentally and socially responsible, healthy, and prosperous environment that improves the quality of life.

R.
RICHARD FROST
President, CEO & Founding Chair

WBENC Women's Business Enterprise
National Council

HEREBY GRANTS

National Women's Business Enterprise Certification

to
Lunacon Engineering Group, Corp.
dba
Lunacon Construction Group

who has successfully met WBENC's standards as a Women's Business Enterprise (WBE).
This certification affirms this business is woman-owned, operated and controlled, and is valid through the date herein.

WBENC National WBE Certification was processed and verified by Women's Business Enterprise Council of Florida, a 501(c)(3) Not-for-Profit Organization.

Expiration Date: 07/25/2015
WBENC National Certificate Number: 2005110925

Sharon
Authorized by Nancy Adams, President & CEO,
Women's Business Enterprise Council of Florida

NAICS Code: 236110, 236220, 237110, 237310, 237990, 238110, 238120, 238130, 238140, 238190, 239110, 239120, 239130, 239140, 239190, 541810, 541820

USD PSC Code: 22080000




WBENC Women's Business Enterprise
National Council

HEREBY GRANTS
WOMAN OWNED SMALL BUSINESS (WOSB) CERTIFICATION TO

Lunacon Engineering Group, Corp.
dba: Lunacon Construction Group

The identified small business is an eligible WOSB for the WOSB Program, as set forth in 13 C.F.R. part 121 and has been verified as such by an SBA approved Third Party Certifier pursuant to the Third Party Agreement, dated June 30, 2011, and available at www.sba.gov/wosb.


The WOSB Certification expires on the date herein unless there is a change in the SBA's regulations that make the WOSB ineligible or there is a change in the WOSB that make the WOSB ineligible. If either occurs, this WOSB Certification is automatically invalid. The WOSB must not conveyance to certification to any other party, including any local or State government or contracting official or the Federal government or any of its contracting officials.

Sharon
Nancy Adams, Woman's Business Enterprise Development Council Florida President & CEO

Janice James Beeson
Janice James Beeson, WOSB President & CEO

Richard Frost
Richard Frost, WBENC Chief of Staff
Certification & Program Operations

| |
|---------------------------------------|
| NAICS: 237990, 234220, 237310, 236210 |
| Certificate Number: 18129107 |
| Expiration Date: 07/25/2016 |




CartyArchitecture

ARCHITECTURE INTERIOR DESIGN PLANNING CONSTRUCTION MANAGEMENT

AC# 690851 STATE OF FLORIDA
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 BOARD OF ARCHITECTURE & INTERIOR DESIGN SEQ# L12120100272

| DATE | BATCH NUMBER | LICENSE NBR |
|------------|--------------|-------------|
| 12/01/2012 | 128156890 | AA26002456 |

The ARCHITECT CORPORATION
 Named below IS CERTIFIED
 Under the provisions of Chapter 481 FS.
 Expiration date: FEB 28, 2015

CARTY ARCHITECTURE LLC
 2655 LE JEUNE ROAD
 SUITE 700
 CORAL GABLES FL 33134

RICK SCOTT GOVERNOR KEN LAWSON SECRETARY
 DISPLAY AS REQUIRED BY LAW

Office of Supplier Diversity
 State of Florida
Minority, Women & Service-Disabled Veteran Business Certification

Carty Architecture, LLC

Is certified under the provisions of 287 and 295.187, Florida Statutes for a period from:

04/30/2013 to 04/30/2015

John P Miles
 John P Miles, Secretary Florida Department of Management Services
 Office of Supplier Diversity
 Office of Supplier Diversity • 4050 Esplanade Way, Suite 380 • Tallahassee, FL 32399-0950 • 850.487.0915 • www.osd.dms.state.fl.us

AC# 690856 STATE OF FLORIDA
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 BOARD OF ARCHITECTURE & INTERIOR DESIGN SEQ# L12120100277

| DATE | BATCH NUMBER | LICENSE NBR |
|------------|--------------|-------------|
| 12/01/2012 | 128156900 | IDS823 |

The INTERIOR DESIGNER
 Named below IS LICENSED
 Under the provisions of Chapter 481 FS.
 Expiration date: FEB 28, 2015

CARTY, JUDY A
 2655 S. LE JEUNE ROAD
 SUITE 400
 CORAL GABLES FL 33134

RICK SCOTT GOVERNOR KEN LAWSON SECRETARY
 DISPLAY AS REQUIRED BY LAW

010251

Local Business Tax Receipt
 Miami-Dade County, State of Florida
 -THIS IS NOT A BILL - DO NOT PAY

LBT

7009467

BUSINESS NAME/LOCATION
 CARTY ARCHITECTURE LLC
 2655 LE JEUNE RD 400
 CORAL GABLES FL 33134

RECEIPT NO. RENEWAL
 7284961

EXPIRES SEPTEMBER 30, 2015
 Must be displayed at place of business Pursuant to County Code Chapter 8A - Art. 9 & 10

OWNER
 CARTY ARCHITECTURE LLC
 Employee(s) 1

SEC. TYPE OF BUSINESS
 212 P.A./CORP/PARTNERSHIP/FIRM
 AA26002456

PAYMENT RECEIVED BY TAX COLLECTOR
 \$45.00 07/24/2014
 CHECK21-14-033786

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.
 The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.
 For more information, visit www.miamidadecounty.gov/taxcollector

AC# 690791 STATE OF FLORIDA
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 BOARD OF ARCHITECTURE & INTERIOR DESIGN SEQ# L12120100212

| DATE | BATCH NUMBER | LICENSE NBR |
|------------|--------------|-------------|
| 12/01/2012 | 128156900 | AR92770 |

The ARCHITECT
 Named below IS LICENSED
 Under the provisions of Chapter 481 FS.
 Expiration date: FEB 28, 2015

CARTY, JUDY A
 2655 S. LE JEUNE ROAD
 SUITE 400
 CORAL GABLES FL 33134

RICK SCOTT GOVERNOR KEN LAWSON SECRETARY
 DISPLAY AS REQUIRED BY LAW

010252

Local Business Tax Receipt
 Miami-Dade County, State of Florida
 -THIS IS NOT A BILL - DO NOT PAY

LBT

7009475

BUSINESS NAME/LOCATION
 CARTY JUDY
 2655 LE JEUNE RD 400
 CORAL GABLES FL 33134

RECEIPT NO. RENEWAL
 7284979

EXPIRES SEPTEMBER 30, 2015
 Must be displayed at place of business Pursuant to County Code Chapter 8A - Art. 9 & 10

OWNER
 JUDY CARTY

SEC. TYPE OF BUSINESS
 212 PROFESSIONAL
 AR92770

PAYMENT RECEIVED BY TAX COLLECTOR
 \$60.00 07/24/2014
 CHECK21-14-034130

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 For more information, visit www.miamidadecounty.gov/taxcollector

GBCI
GREEN BUILDING CERTIFICATION INSTITUTE
 MEMBERS - CERTIFIED THAT

Judy Carty

LEED® ACCREDITED PROFESSIONAL

By *Judy Carty* March 27, 2009 *Peter Compton*



ALLEGUEZ ARCHITECTURE, INC.

ARCHITECTURE INTERIOR DESIGN PLANNING CONSTRUCTION MANAGEMENT

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF ARCHITECTURE & INTERIOR DESIGN

LICENSE NUMBER: AA2000052

The ARCHITECT CORPORATION
Named below IS CERTIFIED
Under the provisions of Chapter 481 F.S.
Expiration date: FEB 28, 2015

ALLEGUEZ ARCHITECTURE, INC.
801 PONCE DE LEON BLVD #202
CORAL GABLES FL 33134

RICK SCOTT GOVERNOR ISSUED: 01/15/2013 SEQ # L130150000503 KEN LAWSON SECRETARY
DISPLAY AS REQUIRED BY LAW

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF ARCHITECTURE & INTERIOR DESIGN

LICENSE NUMBER: IB2000066

The INTERIOR DESIGN CORPORATION
Named below IS CERTIFIED
Under the provisions of Chapter 481 F.S.
Expiration date: FEB 28, 2015

ALLEGUEZ ARCHITECTURE, INC.
801 PONCE DE LEON BLVD #202
CORAL GABLES FL 33134

RICK SCOTT GOVERNOR ISSUED: 01/15/2013 SEQ # L130150000744 KEN LAWSON SECRETARY
DISPLAY AS REQUIRED BY LAW

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF ARCHITECTURE & INTERIOR DESIGN

LICENSE NUMBER: AR0211730

The ARCHITECT
Named below IS LICENSED
Under the provisions of Chapter 481 F.S.
Expiration date: FEB 28, 2015

ALLEGUEZ GALERA, ANA
801 PONCE DE LEON BOULEVARD
SUITE 202
CORAL GABLES FL 33134

RICK SCOTT GOVERNOR ISSUED: 01/15/2013 SEQ # L130150000911 KEN LAWSON SECRETARY
DISPLAY AS REQUIRED BY LAW

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF ARCHITECTURE & INTERIOR DESIGN

LICENSE NUMBER: ID0004010

The INTERIOR DESIGNER
Named below IS LICENSED
Under the provisions of Chapter 481 F.S.
Expiration date: FEB 28, 2015

ALLEGUEZ, ANA
801 PONCE DE LEON BLVD.
SUITE 202
CORAL GABLES FL 33134

RICK SCOTT GOVERNOR ISSUED: 01/15/2013 SEQ # L130150000650 KEN LAWSON SECRETARY
DISPLAY AS REQUIRED BY LAW

STATE OF FLORIDA
DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
BOARD OF ARCHITECTURE & INTERIOR DESIGN

LICENSE NUMBER: AR0204438

The ARCHITECT
Named below IS LICENSED
Under the provisions of Chapter 481 F.S.
Expiration date: FEB 28, 2015

MELIAN, ORLANDO LAZARO
108 CARLSLE DR.
MIAMI SPRINGS FL 33166

RICK SCOTT GOVERNOR ISSUED: 01/15/2013 SEQ # L130150000504 KEN LAWSON SECRETARY
DISPLAY AS REQUIRED BY LAW

**State of Florida
Department of State**

I certify from the records of this office that ALLEGUEZ ARCHITECTURE, INC. is a corporation organized under the laws of the State of Florida, filed on January 22, 2002.

The document number of this corporation is P02000009367.

I further certify that said corporation has paid all fees due this office through December 31, 2013, that its most recent annual report/uniform business report was filed on February 26, 2013, and its status is active.

I further certify that said corporation has not filed Articles of Dissolution.

Given under my hand and the Great Seal of the State of Florida at Tallahassee, the Capital, this 10th day of February, 2013.

Ken Lawson
Secretary of State

Authentication ID: C04006680
To authenticate this certificate visit the following internet this ID, and then follow the instructions displayed.
<http://file.mails.org/external/lead>

State of Florida
Minority, Women & Service-Disabled Veteran Business Certification

Alleguez Architecture, Inc.

Is certified under the provisions of 287 and 295.187, Florida Statutes for a period from:

07/31/2013 to 07/31/2015

John P. Miles, Secretary Florida Department of Management Services
Office of Supplier Diversity

Office of Supplier Diversity • 6050 Eaglehawk Way, Suite 300 • Tallahassee, FL 32309-0620 • 904-907-2955 • www.dms.state.fl.us

LEED AP BD+C

THIS CERTIFICATE IS VALID FOR THE PERIOD:

Ana Alleguez, R.A.

LEED AP BUILDING DESIGN + CONSTRUCTION

BY SIGNING THIS CERTIFICATE OF DESIGN PROFESSIONAL QUALIFICATION FOR LEED AP, I HEREBY CERTIFY THAT I AM A LEED AP BUILDING DESIGN + CONSTRUCTION LEED AP DESIGN PROFESSIONAL QUALIFICATION HOLDER.

Veronica L. Hernandez Ana Alleguez
LEED AP LEED AP
January 16, 2015 January 17, 2016



PROFESSIONAL LICENSES AND CERTIFICATIONS



Local Business Tax Receipt
Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

LBT

4846912

BUSINESS NAME/LOCATION
ALLEGUEZ GALERA ANA
901 PONCE DE LEON BLVD 202
CORAL GABLES FL 33134

RECEIPT NO.
RENEWAL
5058813

EXPIRES
SEPTEMBER 30, 2015
Must be displayed at place of business
Pursuant to County Code
Chapter 8A - Art. 9 & 10

OWNER
ALLEGUEZ GALERA ANA

SEC. TYPE OF BUSINESS
212 PROFESSIONAL
AR0014190

PAYMENT RECEIVED BY TAX COLLECTOR
\$60.00 08/08/2014
CHECK21-14-047660

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.

The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.

For more information, visit www.miamidade.gov/taxcollector

Local Business Tax Receipt
Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

LBT

4846904

BUSINESS NAME/LOCATION
ALLEGUEZ ARCHITECTURE INC
901 PONCE DE LEON BLVD 202
CORAL GABLES FL 33134

RECEIPT NO.
RENEWAL
5058805

EXPIRES
SEPTEMBER 30, 2015
Must be displayed at place of business
Pursuant to County Code
Chapter 8A - Art. 9 & 10

OWNER
ALLEGUEZ ARCHITECTURE INC
Employee(s) 5

SEC. TYPE OF BUSINESS
212 P.A./CORP/PARTNERSHIP/FIRM

PAYMENT RECEIVED BY TAX COLLECTOR
\$45.00 08/08/2014
CHECK21-14-047660

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.

The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.

For more information, visit www.miamidade.gov/taxcollector

Local Business Tax Receipt
Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

LBT

4283404

BUSINESS NAME/LOCATION
ALLEGUEZ ANA
901 PONCE DE LEON BLVD 202
CORAL GABLES FL 33134

RECEIPT NO.
RENEWAL
4472106

EXPIRES
SEPTEMBER 30, 2015
Must be displayed at place of business
Pursuant to County Code
Chapter 8A - Art. 9 & 10

OWNER
ALLEGUEZ ANA


SEC. TYPE OF BUSINESS
212 PROFESSIONAL
ID0004390

PAYMENT RECEIVED BY TAX COLLECTOR
\$60.00 08/08/2014
CHECK21-14-047660

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The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.

For more information, visit www.miamidade.gov/taxcollector

 **CITY OF CORAL GABLES, FLORIDA**
LOCAL BUSINESS TAX RECEIPT

CUST. NO. 019286
RECEIPT NO.
BT-0000004150

2014-2015

ANNUAL FIRE INSPECTION FEE RECEIPT
THIS IS NOT A BILL-DO NOT PAY

BUSINESS NAME: ALLEGUEZ ARCHITECTURE INC
DBA NAME: ALLEGUEZ ARCHITECTURE INC

LOCATION: 901 PONCE DE LEON BLVD
202


| CLASSIFICATION: | NO. OF UNITS | UNIT DESCRIPTION | AMOUNT PAID: |
|---------------------------------|--------------|------------------|--------------|
| 1 PROFESSIONAL SVC-PA, LLC, ETC | | | \$ 275.00 |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |

SQUARE FOOTAGE OF SPACE: 1757

BUSINESS TAX RECPT RENEWAL

** This receipt does not constitute authority to begin operating at this location without a Certificate of Use and Inspection Approval **

VALID ONLY AT LOCATION ABOVE.
RECEIPT EXPIRES 09/30/2015

 **CITY OF CORAL GABLES, FLORIDA**
LOCAL BUSINESS TAX RECEIPT

CUST. NO. 019285
RECEIPT NO.
BT-0000021350

2014-2015

THIS IS NOT A BILL-DO NOT PAY

BUSINESS NAME: ANA ALLEGUEZ
DBA NAME: %ALLEGUEZ ARCHITURE INC

LOCATION: 901 PONCE DE LEON BLVD
202

| CLASSIFICATION: | NO. OF UNITS | UNIT DESCRIPTION | AMOUNT PAID: |
|-----------------|--------------|------------------|--------------|
| 1 ARCHITECT | | | \$ 188.00 |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |

BUSINESS TAX RECPT RENEWAL

** This receipt does not constitute authority to begin operating at this location without a Certificate of Use and Inspection Approval **

VALID ONLY AT LOCATION ABOVE.
RECEIPT EXPIRES 09/30/2015





State of Florida
Board of Professional Engineers
Attests that
Paul Anthony Zilio
Special Inspector

Is licensed as a Professional Engineer under Chapter 471, Florida Statutes
Expiration: 2/28/2015 P.E. Lic. No: 47013
Audit No: 228201531355 SI Lic. No: 1089

State of Florida
Board of Professional Engineers
Attests that
William H. Caycedo
Special Inspector

Is licensed as a Professional Engineer under Chapter 471, Florida Statutes
Expiration: 2/28/2015 P.E. Lic. No: 34199
Audit No: 228201531059 SI Lic. No: 941

State of Florida
Board of Professional Engineers
Attests that
George Najib Khoury
Special Inspector

Is licensed as a Professional Engineer under Chapter 471, Florida Statutes
Expiration: 2/28/2015 P.E. Lic. No: 55479
Audit No: 228201531098 SI Lic. No: 2030

State of Florida
Board of Professional Engineers
Attests that
Bliss & Nyitray, Inc.
Certificate of Authorization

is authorized under the provisions of Section 471.023, Florida Statutes, to offer engineering services to the public through a Professional Engineer, duly licensed under Chapter 471, Florida Statutes.
Expiration: 2/28/2015 CA Lic. No: 674
Audit No: 228201501135

State of Florida
Department of State

I certify from the records of this office that BLISS & NYITRAY INC is a corporation organized under the laws of the State of Florida, filed on March 1, 1958.

The document number of this corporation is 327059.

I further certify that said corporation has paid all fees due this office through December 31, 2014, that its most recent annual report/uniform business report was filed on January 2, 2014, and its status is active.

I further certify that said corporation has not filed Articles of Dissolution.

Given under my hand and the Great Seal of the State of Florida at Tallahassee, the Capital, this the Second day of January, 2014

Ken Dietzgen
Secretary of State

Authentication ID: CC346514953
To authenticate this certificate, visit the following site, enter this ID, and then follow the instructions given displayed.
<https://elle.smbiz.org/certauthver.html>

CITY OF CORAL GABLES, FLORIDA
LOCAL BUSINESS TAX RECEIPT
ANNUAL FIRE INSPECTION FEE RECEIPT
THIS IS NOT A BILL-DO NOT PAY

2014-2015

BUSINESS NAME: BLISS & NYITRAY INC LOCATION: 800 DOUGLAS RD
DBA NAME: BLISS & NYITRAY INC 300

| CLASSIFICATION | NO. OF UNITS | UNIT DESCRIPTION | AMOUNT PAID: \$ |
|---------------------------------|--------------|------------------|-----------------|
| 1 PROFESSIONAL SVC-PA, LLC, ETC | | | 323.00 |
| 2 | | | |
| 3 | | | |
| 4 | | | |
| 5 | | | |
| 6 | | | |

SQUARE FOOTAGE OF SPACE: 5674 BUSINESS TAX RECP/RENEWAL
** This receipt does not constitute authority to begin operating at this location without a Certificate of Use and Inspection Approval ** VALID ONLY AT LOCATION ABOVE
RECEIPT EXPIRES 09/30/2015

Local Business Tax Receipt
Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

597899

BUSINESS NAME/LOCATION
BLISS & NYITRAY INC
800 SW 37 AVE 300
CORAL GABLES FL 33134

RECEIPT NO.
RENEWAL
597899

EXPIRES
SEPTEMBER 30, 2015
Must be displayed at place of business
Pursuant to County Code
Chapter 8A - Art. 9 & 10

OWNER
BLISS & NYITRAY INC
Employee(s) 1

SEC. TYPE OF BUSINESS
212 P.A./CORP/PARTNERSHIP/FIRM
674

PAYMENT RECEIVED
BY TAX COLLECTOR
\$45.00 09/09/2014
CHECK21-14-062368

2014-15

The Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements, which apply to the business.
The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 6a-276.
For more information, visit www.miamidade.gov/taxcollector



State of Florida
Board of Professional Engineers
Attests that
Chen And Associates Consulting Engineers, Inc.

FBPE

is authorized under the provisions of Section 471.023, Florida Statutes, to offer engineering services to the public through a Professional Engineer, duly licensed under Chapter 471, Florida Statutes.
Expiration: 2/28/2015 CA Lic. No: 4593
Audit No: 228201501355 Certificate of Authorization

State of Florida
Board of Professional Engineers
Attests that
Jose Luis Acosta, P.E.

FBPE

Is licensed as a Professional Engineer under Chapter 471, Florida Statutes
Expiration: 2/28/2015 P.E. Lic. No: 63827
Audit No: 228201510327

Office of Supplier Diversity
OSD
State of Florida

State of Florida
Minority, Women & Service-Disabled Veteran
Business Certification

Chen Moore and Associates

Is certified under the provisions of
287 and 295.187, Florida Statutes for a period from:

03/07/2012 to 03/07/2014

John P Miles
John P Miles, Secretary

Florida Department of Management Services
Office of Supplier Diversity

Office of Supplier Diversity • 4050 Esplanade Way, Suite 380 • Tallahassee, FL 32399-0950 • 850.487.0915 • www.osd.dms.state.fl.us

102181

Local Business Tax Receipt
Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

LBT

EXPIRES SEPTEMBER 30, 2015
Must be displayed at place of business Pursuant to County Code Chapter 8A - Art. 9 & 10

6818521

| | | |
|---|--|--|
| BUSINESS NAME/LOCATION BETANCOURT CRISTOBAL ALEX 155 S MIAMI AVE PNETHOUSE IIA MIAMI FL 33130 | RECEIPT NO. RENEWAL 7055544 | PAYMENT RECEIVED BY TAX COLLECTOR \$55.00 11/12/2014 Acct02-15-000161 |
|---|--|--|

OWNER
BETANCOURT CRISTOBAL ALEX

SEC. TYPE OF BUSINESS
212 PROFESSIONAL
LA666694

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.
The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.
For more information, visit www.miamidade.gov/taxcollector

00992

Local Business Tax Receipt
Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

LBT

EXPIRES SEPTEMBER 30, 2015
Must be displayed at place of business Pursuant to County Code Chapter 8A - Art. 9 & 10

4574266

| | | |
|---|--|--|
| BUSINESS NAME/LOCATION CHEN MOORE AND ASSOCIATES INC 155 S MIAMI AVE PENTHOUSE IIA MIAMI FL 33130 | RECEIPT NO. RENEWAL 4775459 | PAYMENT RECEIVED BY TAX COLLECTOR \$55.00 11/12/2014 Acct02-15-000158 |
|---|--|--|

OWNER
CHEN MOORE AND ASSOCIATES INC
Employee(s) 2

SEC. TYPE OF BUSINESS
212 P.A./CORP/PARTNERSHIP/FIRM
EB4593

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.
The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.
For more information, visit www.miamidade.gov/taxcollector

102380

Local Business Tax Receipt
Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

LBT

EXPIRES SEPTEMBER 30, 2015
Must be displayed at place of business Pursuant to County Code Chapter 8A - Art. 9 & 10

6964655

| | | |
|---|--|--|
| BUSINESS NAME/LOCATION CHEN MOORE AND ASSOCIATES INC 155 S MIAMI AVE PENTHOUSE IIA MIAMI FL 33130 | RECEIPT NO. RENEWAL 7240278 | PAYMENT RECEIVED BY TAX COLLECTOR \$55.00 11/12/2014 Acct02-15-000160 |
|---|--|--|

OWNER
CHEN MOORE AND ASSOCIATES INC
Employee(s) 7

SEC. TYPE OF BUSINESS
212 P.A./CORP/PARTNERSHIP/FIRM
LC28000425

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.
The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.
For more information, visit www.miamidade.gov/taxcollector





35156

Local Business Tax Receipt

Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

LBT

7177168

BUSINESS NAME/LOCATION
ACOSTA JOSE LUIS
155 S MIAMI AVE PH IIA
MIAMI-FL 33130

RECEIPT NO.
NEW BUSINESS
7457162

EXPIRES
SEPTEMBER 30, 2015
Must be displayed at place of business
Pursuant to County Code
Chapter 8A - Art. 9 & 10

OWNER
ACOSTA JOSE LUIS

SEC. TYPE OF BUSINESS
212 PROFESSIONAL
PE63827

PAYMENT RECEIVED
BY TAX COLLECTOR
\$55.00 11/12/2014
Acct02-15-000164

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.
The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.
For more information, visit www.miamidade.gov/taxcollector

City of Miami POST THIS DOCUMENT IN A CONSPICUOUS PLACE NOT TRANSFERABLE OR VALID AT ANOTHER ADDRESS UNLESS APPROVED BY THE FINANCE DEPARTMENT, CITY OF MIAMI 444 S.W.2 AVE 6TH FLOOR, MIAMI, FL 33130, PHONE (305)416-1918. **THIS IS NOT A BILL DO NOT PAY**

Effective Year Oct. 1 2014 Thru Sep. 30 2015

RECEIPT FOR CRISTOBAL ALEX BETANCOURT

ISSUED Oct 10, 2014 TOTAL FEE PAID 116.00

This issuance of a business tax receipt does not permit the holder to violate any zoning laws of the City nor does it exempt the holder from any license or permits that may be required by law.
This document does not constitute a certification that the holder is qualified to engage in the business, profession or occupation specified herein.
The document indicates payment of the business tax receipt only.

ACCOUNT NUMBER 95868
RECEIPT NUMBER 51505
NAME OF BUSINESS CHEN MOORE AND ASSOCIATES
DBA CHEN MOORE AND ASSOCIATES
LOCATION 155 S MIAMI AV PH2A

2015

IS HEREBY IN COMPLIANCE TO ENGAGE IN OR MANAGE THE OPERATION OF: ARCHITECT, LANDSCAPE

Jose M. Fernandez
Finance Director

City of Miami POST THIS DOCUMENT IN A CONSPICUOUS PLACE NOT TRANSFERABLE OR VALID AT ANOTHER ADDRESS UNLESS APPROVED BY THE FINANCE DEPARTMENT, CITY OF MIAMI 444 S.W.2 AVE 6TH FLOOR, MIAMI, FL 33130, PHONE (305)416-1918. **THIS IS NOT A BILL DO NOT PAY**

Effective Year Oct. 1 2014 Thru Sep. 30 2015

RECEIPT FOR JOSE LUIS ACOSTA

ISSUED Oct 31, 2014 TOTAL FEE PAID 116.00

This issuance of a business tax receipt does not permit the holder to violate any zoning laws of the City nor does it exempt the holder from any license or permits that may be required by law.
This document does not constitute a certification that the holder is qualified to engage in the business, profession or occupation specified herein.
The document indicates payment of the business tax receipt only.

ACCOUNT NUMBER 95868
RECEIPT NUMBER 51501
NAME OF BUSINESS CHEN MOORE AND ASSOCIATES
DBA CHEN MOORE AND ASSOCIATES
LOCATION 155 S MIAMI AV PH2A

2015

IS HEREBY IN COMPLIANCE TO ENGAGE IN OR MANAGE THE OPERATION OF: ENGINEER, PROFESSIONAL, OTHER

Jose M. Fernandez
Finance Director

City of Miami POST THIS DOCUMENT IN A CONSPICUOUS PLACE NOT TRANSFERABLE OR VALID AT ANOTHER ADDRESS UNLESS APPROVED BY THE FINANCE DEPARTMENT, CITY OF MIAMI 444 S.W.2 AVE 6TH FLOOR, MIAMI, FL 33130, PHONE (305)416-1918. **THIS IS NOT A BILL DO NOT PAY**

Effective Year Oct. 1 2014 Thru Sep. 30 2015

RECEIPT FOR CHEN MOORE AND ASSOCIATES

ISSUED Oct 10, 2014 TOTAL FEE PAID 116.00

This issuance of a business tax receipt does not permit the holder to violate any zoning laws of the City nor does it exempt the holder from any license or permits that may be required by law.
This document does not constitute a certification that the holder is qualified to engage in the business, profession or occupation specified herein.
The document indicates payment of the business tax receipt only.

ACCOUNT NUMBER 95868
RECEIPT NUMBER 51500
NAME OF BUSINESS CHEN MOORE AND ASSOCIATES
DBA CHEN MOORE AND ASSOCIATES
LOCATION 155 S MIAMI AV PH2A

2015

IS HEREBY IN COMPLIANCE TO ENGAGE IN OR MANAGE THE OPERATION OF: PROF ASSN/FIRM/CO./PTNERSHPS/CORP

Jose M. Fernandez
Finance Director

City of Miami POST THIS DOCUMENT IN A CONSPICUOUS PLACE NOT TRANSFERABLE OR VALID AT ANOTHER ADDRESS UNLESS APPROVED BY THE FINANCE DEPARTMENT, CITY OF MIAMI 444 S.W.2 AVE 6TH FLOOR, MIAMI, FL 33130, PHONE (305)416-1918. **THIS IS NOT A BILL DO NOT PAY**

Effective Year Oct. 1 2014 Thru Sep. 30 2015

RECEIPT FOR PETER MICHAEL MOORE

ISSUED Oct 31, 2014 TOTAL FEE PAID 116.00

This issuance of a business tax receipt does not permit the holder to violate any zoning laws of the City nor does it exempt the holder from any license or permits that may be required by law.
This document does not constitute a certification that the holder is qualified to engage in the business, profession or occupation specified herein.
The document indicates payment of the business tax receipt only.

ACCOUNT NUMBER 95868
RECEIPT NUMBER 51504
NAME OF BUSINESS CHEN MOORE AND ASSOCIATES
DBA CHEN MOORE AND ASSOCIATES
LOCATION 155 S MIAMI AV PH2A

2015

IS HEREBY IN COMPLIANCE TO ENGAGE IN OR MANAGE THE OPERATION OF: ENGINEER, PROFESSIONAL, OTHER

Jose M. Fernandez
Finance Director





135 Almeria Avenue
Coral Gables, FL 33134

Professional Qualifications

State of Florida
Board of Professional Engineers
Attests that
SDM Consulting Engineers, Inc.

is authorized under the provisions of Section 471.023, Florida Statutes, to offer engineering services to the public through a Professional Engineer, duly licensed under Chapter 471, Florida Statutes.
Expiration: 2/28/2015 CA Lic. No: 3791
Audit No: 228201500437 Certificate of Authorization

State of Florida
Minority, Women & Service-Disabled Veteran
Business Certification

SDM Consulting Engineers, Inc.

Is certified under the provisions of 287 and 295.187, Florida Statutes for a period from:

02/08/2012 to 02/08/2014

John P Miles
John P Miles, Secretary

Florida Department of Management Services
Office of Supplier Diversity

Office of Supplier Diversity - 4050 Esplanade Way, Suite 380 - Tallahassee, FL 32399-0950 - 850.487.0913 - www.osd.dms.state.fl.us

State of Florida
Board of Professional Engineers
Attests that
Manuel Rafael Perez-Montoya, P.E.

Is licensed as a Professional Engineer under Chapter 471, Florida Statutes
Expiration: 2/28/2015 P.E. Lic. No: 66220
Audit No: 228201500811

Laurie A. Frost

From: osdhelp@dms.myflorida.com
Sent: Wednesday, February 08, 2012 12:14 PM
To: Laurie A. Frost
Subject: Online Registration: Minority Certification Validated

OSD HBE
osdhelp.pdf (1 MB)

Dear Laurie Frost,

Your application for Statewide and Inter-Local Certified Business Enterprise (CBE) certification is hereby approved and effective for a period of two years. The certification of the business, which is designated as Hispanic American is applicable when business is conducted consistent with this specialty(s).

ENGINEERING SERVICES NOT OTHERWISE CLASSIFIED

Your submission of bids to supply other products or services outside of this specialty(s) will result in the contracting entity not getting credit for CBE participation in that business transaction.

You are encouraged to become an active bidder in the participating programs of the Statewide and Interlocal Agreement. You must also be aware that some of the participating entities have certification eligibility criteria unique to those of the reciprocal certification networks because they have been imposed by their disparity studies. As a result, some program offices may ask you to submit additional documentation before you are eligible to bid as a certified CBE with that jurisdiction or organization.

The Laws of Florida require that the Office of Supplier Diversity be advised of any and all changes in the company's status occurring within fourteen (14) days of the transfer or change taking place. This law is applicable throughout the effective certification dates.

Questions concerning your CBE certification may be directed to this office at (850) 487-0915.

Sincerely,
Office of Supplier Diversity

If you have any questions or concerns about procurement, please call MyFloridaMarketplace customer service at 1-866-352-3716.

State of Florida
Board of Professional Engineers
Attests that
Ernesto Aloma, P.E.

Is licensed as a Professional Engineer under Chapter 471, Florida Statutes
Expiration: 2/28/2015 P.E. Lic. No: 53823
Audit No: 228201502652

State of Florida
Board of Professional Engineers
Attests that
Jose Ignazio Martinez, P.E.

Is licensed as a Professional Engineer under Chapter 471, Florida Statutes
Expiration: 2/28/2015 P.E. Lic. No: 53779
Audit No: 228201500598



PROFESSIONAL LICENSES AND CERTIFICATIONS



DESIGNING BEAUTIFUL PLACES



**State of Florida
Department of State**

I certify from the records of this office that LAURA LLERENA & ASSOCIATES, INC. is a corporation organized under the laws of the State of Florida, filed on April 22, 1980.

The document number of this corporation is 667457.

I further certify that said corporation has paid all fees due this office through December 31, 2014, that its most recent annual report/uniform business report was filed on January 7, 2014, and its status is active.

I further certify that said corporation has not filed Articles of Dissolution.

Given under my hand and the Great Seal of the State of Florida at Tallahassee, the Capital, this the Seventh day of January, 2014

Ken Lawson
Secretary of State

Authentication ID: CC946298513
To authenticate this certificate visit the following site, enter this ID, and then follow the instructions displayed.
<https://efile.sunbiz.org/certauthver.html>

Local Business Tax Receipt
Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

728643

BUSINESS NAME/LOCATION
LLERENA HERNANDEZ LAURA M
13170 SW 128 ST 207
MIAMI FL 33186

RECEIPT NO. RENEWAL
728643

EXPIRES
SEPTEMBER 30, 2015
Must be displayed at place of business Pursuant to County Code Chapter 8A - Art. 9 & 10

OWNER
LLERENA HERNANDEZ LAURA M

SEC. TYPE OF BUSINESS
212 PROFESSIONAL
LA6667125

PAYMENT RECEIVED BY TAX COLLECTOR
\$100.00 09/04/2014
CHECK21-14-058504

2014-15

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.
The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.
For more information, visit www.miamidade.gov/taxcollector

000338

Local Business Tax Receipt
Miami-Dade County, State of Florida
-THIS IS NOT A BILL - DO NOT PAY

6256937

BUSINESS NAME/LOCATION
LLERENA LAURA & ASSOCIATES INC
13170 SW 128 ST 207
MIAMI FL 33186

RECEIPT NO. RENEWAL
728676

EXPIRES
SEPTEMBER 30, 2015
Must be displayed at place of business Pursuant to County Code Chapter 8A - Art. 9 & 10

OWNER
LAURA LLERENA & ASSOCIATES INC
Employee(s) 4

SEC. TYPE OF BUSINESS
212 P.A. CORP/PARTNERSHIP/FIRM
LCC000046

PAYMENT RECEIVED BY TAX COLLECTOR
\$75.00 09/04/2014
CHECK21-14-058519

2014-15

This Local Business Tax Receipt only confirms payment of the Local Business Tax. The Receipt is not a license, permit, or a certification of the holder's qualifications, to do business. Holder must comply with any governmental or nongovernmental regulatory laws and requirements which apply to the business.
The RECEIPT NO. above must be displayed on all commercial vehicles - Miami-Dade Code Sec 8a-276.
For more information, visit www.miamidade.gov/taxcollector





Renovations of Hangars C, D, & F

Location: Cape Canaveral AFS, FL
Agency: US Air Force
Lunacon's Role: Prime Contractor
Total \$ Value: \$1,859,865
Start/Completion: 10/20/10 - 10/29/13

Project Description

The scope of work for this project included the remodeling of an existing hangar including demolition and construction on the North Wing 1st and 2nd floor general office, shop area, and restrooms. New construction included renovation of the restrooms to meet ADA requirements and the installation of new architectural finishes and furniture. Additional work included the repair of the High Bay of Hangar C in preparation for a Rocket Display Storage. The old trenches in the hangar bay were filled and leveled to match existing concrete floor and prepared to be painted along with all walls within the hangar. During Construction there were challenges with environmental issues such as removal of scaling lead paint from interior high bay beams, tracks and inside surfaces of hangar doors and repaint; asbestos piping systems in the high bay; removal of all modular towers to include all walls, electrical, and HVAC.

Relevancy

HVAC systems repair/remodel, Piping Modification, Plumbing, Electrical, Interior finish upgrades, space reconfiguration, Structural, Metalwork

Awards of Recognition

Outstanding Overall CCAS Rating

Customer Point of Contact:

Vachara "V" Landry - Contract Specialist
(321) 853-0874
Carl Davison, Jr., Civ - Contract Specialist
(321) 867-3514



USACE Vicksburg HVAC Repair



Location: Cape Canaveral AFS, FL
Agency: US Air Force
Lunacon's Role: Design-Builder
Total \$ Value: \$2,911,474
Start/Completion: 11/05/2012 - 10/22/2013

Project Description

The scope of Work for this project consists of Design/Build for the replacement of HVAC system in a two-story, 69,000 square foot administrative building in Vicksburg, Mississippi. This effort required significant design coordination. The effort also included the installation of a complete Direct Digital Control (DDC) system throughout the facility. All the internal systems including control wiring, actuators, sensors, and related items were replaced. The overall project consist of replacing the existing two 70 ton air cooled chillers and a 1517 WBH natural gas fired boiler; Chilled water and hot water pumps; 3 large air handlers and approximately 36 fan coils or air handlers located in ceiling spaces were replaced with a new VAV air distribution system.



Relevancy

HVAC, Piping Modification, Electrical, Interior Construction, Mechanical systems repair in an occupied environment

Awards of Recognition

Substantial Confidence

Customer Point of Contact:

Jonathan Silas - Contract Specialist
(321) 853-0874

Evaluator remarks:

Great Contractor to work with. Always professional and prompt with paperwork and meetings.

- Jonathan Silas, COR / USACE

USDA AQI Lab - Renovations of Building 63

Location: Miami, FL
Agency: US Department of Agriculture
Lunacon's Role: Design-Builder
Total \$ Value: \$1,282,201
Start/Completion: 1/12/2011 - 3/28/2012

Project Description

The renovation consisted of the removal and re-installation of architectural finishes, laboratory equipment installation, roof systems repair, and MEP systems. The intent of the project was to upgrade the existing ARS Research Station, Building 63 in order to accommodate the new Agriculture Quarantine Laboratory (AQI) in Miami, Florida. The new project includes renovation of an existing facility. This project is a renovation of a government facility, which consists of the following similar work examples: Interior finish upgrades and space reconfiguration Mechanical systems repair, electrical service reconfiguration, plumbing repair and improvements.

Relevancy

HVAC systems repair/remodel, Piping Modification, Plumbing, Electrical, Interior finish upgrades, space reconfiguration, service improvements; plumbing rework, Structural, Metalwork

AWARDS OR RECOGNITION:

Outstanding Overall CCAS Rating

Customer Point of Contact:

Clinton Harley, Property and Space Management Specialist, (919) 607-8595



Evaluator remarks:

This USDA organization would gladly work in the future with any other building construction and/or remodeling project with Lunacon, LLC. They had assisted in any way that they could with this project even though in some areas they were not receiving additional payments for their assistance.

-Clinton Harley, Specialist

CartyArchitecture



Joseph Carter Park New Construction

Service/Construction 2012-2013
Location Fort Lauderdale, FL
Total Size 257,000 SF
Construction Cost \$3M

Owner City of Fort Lauderdale
Contact Jeff Williamson

Project Description

The project consists of an artificial turf football field, an eight lane track, and field events, as well as two covered bleacher seating areas for 450 spectators. Renovations to the exterior of the existing concessions and press box included repair, repainting, and overall "branding". A new score board, including related signage as well as new site fencing, lighting, and parking.

Role
Architect of Record

Consultants
Martinez Engineering Group
TLC Engineering
Chen Moore and Associates

Services
Architectural Design
Interior Design
Landscaping Design
Structural Engineering
Electrical Engineering
Plumbing Engineering
Civil Engineering

CartyArchitecture



Moore Park Athletic Facility*

New Construction

Service/Construction 2009-2011
Location Miami, FL
Total Size 257,000 SF
Construction Cost \$5.6M

Owner City of Miami
Contact Jeff Williamson

Project Description

The project is a legacy gift from the Orange Bowl Committee to the City of Miami. Moore Park was the site of the first Orange Bowl game 75 years ago. The design includes a new synthetic turf field, running track, field event facilities, 1,500 bleacher seating, and under bleacher equipment storage. The project included a press box with designated photographer platform on the roof, coach boxes, restrooms, locker rooms, clubroom, concession facilities for both home and away teams, an electronic score board, related signage, competition field lighting, and overall park "branding".

Role

Architect of Record

Consultants

Martinez Engineering Group
TLC Engineering
Miller Legg Engineering

Services

Architectural Design
Interior Design
Landscaping Design
Structural Engineering
MEP and FP Engineering
Civil Engineering

* Individual Experience: Judy Carty Architect of Record

CartyArchitecture



Sarasota National Cemetery* New Construction

Service/Construction 2007-2012

Location Sarasota, FL

Total Size 295 Acre

Construction Cost \$6.5M

Owner Dept of Veterans Affairs

Contact Bill Peach

Project Description

Project consisted of a 295 acre site primary dedicated to providing burial space, cremation areas, signage and support structures. Phase 1 includes a public information and administration center with restrooms; a utility building with a backup generator and irrigation equipment; a site and vehicle maintenance build; two solar-powered shelters for committal services during inclement weather; as well as, an assembly area with a memorial wall, columbarium, and flag areas. Total construction costs: \$75 M / phase 1: \$6.5 M.

Role

Architect of Record

Consultants

ONMJ Structural Engineering

TLC Engineering

Miller Legg Engineering

Services

Architectural Design

Interior Design

Landscaping Design

Structural Engineering

MEP and FP Engineering

Civil Engineering

* Individual Experience: Judy Carty Architect of Record

CartyArchitecture



South FL National Cemetery* New Construction

Service/Construction 2007-2009

Location Lake Worth, FL

Total Size 313 Acre

Construction Cost \$1.9M

Owner Dept of Veterans Affairs

Contact Kevin W. Dix

Project Description

Project consisted of a 313 acre site primary dedicated to providing forty years of burial space. Phase 1 design elements include a public information/administrative building, roadways, irrigation, storm water management, landscaping, and various support structures.

Role

Architect of Record

Consultants

ONMJ Structural Engineering

TLC Engineering

Miller Legg Engineering

Services

Architectural Design

Interior Design

Landscaping Design

Structural Engineering

MEP and FP Engineering

Civil Engineering

* Individual Experience: Judy Carty Architect of Record

CartyArchitecture



South Terminal Expansion*
New Construction and Renovations

Service/Construction 1997-2007
Location Miami, FL
Total Size 1,200,000 SF
Construction Cost \$368 M

Owner Miami-Dade Aviation Dept
Contact Debra Shore

Project Description

Project consisted of the full expansion of the existing airport south side increasing the terminal curbside by over 1000 ft, in a five-story building which can process up to 2500 passengers per hour. Terminal functions include arrival and departure curbs, 128 ticket counters, ticket offices, service concessions, restrooms, security points, an automated baggage system, baggage claim areas, customs and border protection offices, storage, support spaces and a cruise ship bus terminal.

Role

Senior Project Manager

Consultants

DeSimone Chaplin & Dobryn Consulting Engineers/Martinez Engineering Group
TLC Engineering
HJRoss Associates

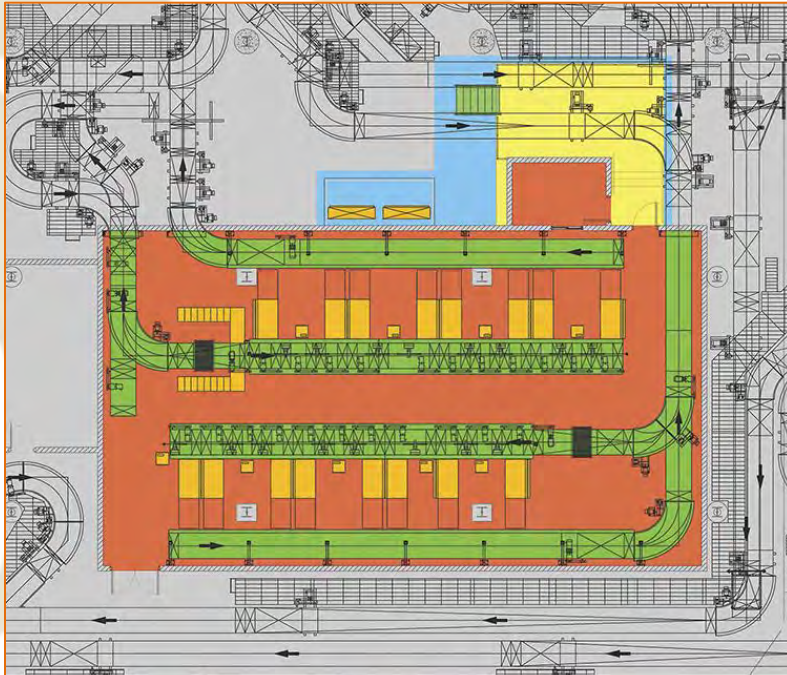
Services

Architecture
Interior Design
Civil Engineering
Structural Engineering
MEP Engineering
Civil Engineering
Landscape Design



* Individual Experience: Judy Carty Architect of Record

CartyArchitecture



MIA South PGDS

New Construction and Renovations

Service/Construction 2012

Location Miami, FL

Total Size 3,720 SF

Construction Cost \$450K

Owner Miami-Dade Aviation Dept

Contact Debra Shore

Project Description

This project consists of the reconfiguration of the conveyor belts and the associated TSA required technology for bag tracking. The purpose of this project is to bring the existing ETD room, within MIA South Terminal, into compliance with the latest ergonomic standards required by the TSA for their employees. In order to achieve these new standards, which eliminate the need for the lifting of bags, the conveyor belts and related elements (ie. lights, sprinklers, CCTV) within the room must be reconfigured within the 3,720 SF project.

Role

Architect of Record

Consultants

Martinez Engineering Group

TLC Engineering

TLC Engineering

Services

Architectural Design

Interior Design

Landscaping Design

Structural Engineering

MEP and FP Engineering

Civil Engineering

Alleguez Architecture



PROJECT EXPERIENCE

Tropical Park Equestrian Ctr.

Design Build

Service/Construction 2001-2002

Location Miami, FL

Total Size 55,000 SF

Construction Cost \$2.5M

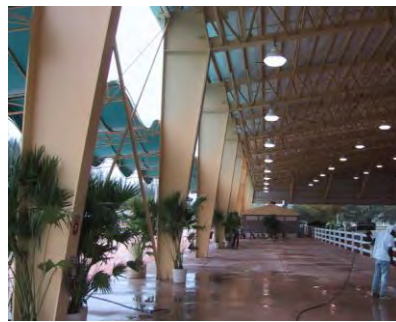
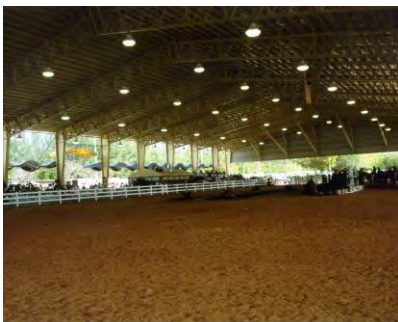
Owner Miami Dade Park & Rec.

Contact Joel Arango

Project Description

This facility was completed as a design-build project; it was a requirement to use the criteria established by the Owner to develop this facility. The concept, initial design, finishes and colors were critical because they set the direction for future development of the park.

At the heart of the facility is a state-of-the-art show arena covered by a standing seam metal roof superstructure. This facility is able to accommodate approximately 1,000 persons, when additional bleachers are arranged capacity can be increased to 7,500 persons. Alongside of the superstructure is a promenade that defines the pedestrian access and pathway to the facility. The promenade will allow vending kiosks to create a fair-like experience in a tropical setting.



Role

Architect of Record

Consultants

SDM Consulting Engineers

EAC Consulting Inc.

Alleguez Architecture



PROJECT EXPERIENCE

MDFR Redland Fire Station

New Construction Design Build

Service/Construction 2004-2005

Location Miami, FL

Total Size 7,600 SF

Construction Cost \$2M

Owner Miami Dade County Fire Dept.

Contact Margarita Garces

Project Description

This fire station is very special; as it is located in the historic area of the Redlands and it also allowed the many years of planning by the Fire Dept. to come to be realized. The design was sensitive to the area and took on the essence of the neighborhood and the community praised the design. Not only did this facility fit in perfectly with the context but most importantly it was built in a timely fashion so that the community could be better served. Additionally, this facility had the challenge of being serviced by well water, requiring special pumps affecting the fire protection system. It also required a septic tank system which is atypical for a facility of this type. However, this design team successfully designed and permitted the project in a fast-tracked method.

Role

Architect of Record

Consultants

SDM Consulting Engineers

San Martin & Associates

CRJ & Associates

Laura Llerena & Associates

Services

Architectural Design

Interior Design

Landscaping Design

Structural Engineering

Mechanical Engineering



GOVERNMENT/MUNICIPAL EXPERIENCE



| | |
|---|---|
| <p>Name of Project Arcola Lakes Park – Senior Center & Pool Miami, Florida</p> | <p>Project Start / Completion Dates Start Date: 2009 Completion Date: 2014</p> |
| <p>Project Owner Miami-Dade County - Parks & Recreation Department Miami-Dade County, Florida</p> |  |
| <p>Project Scope A new one-story, 14,220 sq. ft. facility specifically designed for use by senior residents, age 55 and older. It is completely ADA accessible and features a covered passenger drop-off entrance, lobby and reception area. This facility is inclusive of offices, an exercise room, entertainment rooms with flat screen televisions, arts & crafts room, locker rooms, a kitchen, a large banquet hall/meeting room. The exterior of the facility includes a 30,000 gallon, 20' x 50' exercise pool.</p> | |
| <p>Name of Project Melreese Golf Training Facility LEED Gold Certified for New Construction Miami, Florida</p> | <p>Project Start / Completion Dates Start Date: 2009 Completion Date: 2013</p> |
| <p>Project Owner City of Miami - Capital Improvements Program Miami, Florida</p> |  |
| <p>Project Scope The facility is approximately 5,000 sf and includes three state-of-the-art instructional bays facing the practice range, a large assembly/classroom area, two offices, a storage area, restrooms, and a kitchenette and vending area. It also has a pre-fabricated canopy over the existing practice range and connecting walkways to the new clubhouse and parking lot.</p> | |
| <p>Name of Project Vizcaya Park Community Center LEED Gold Certified for New Construction Miramar, Florida</p> | <p>Project Start / Completion Dates Start Date: 2009 Completion Date: 2012</p> |
| <p>Project Owner City of Miramar Miramar, Florida</p> |  |
| <p>Project Scope A single-story, 7,660 gsf 'Green' Community Center located in a 20-acre City of Miramar public park environment which includes spaces for recreation, computer education/activity, gaming, park concessions, an office and multipurpose rooms.</p> | |





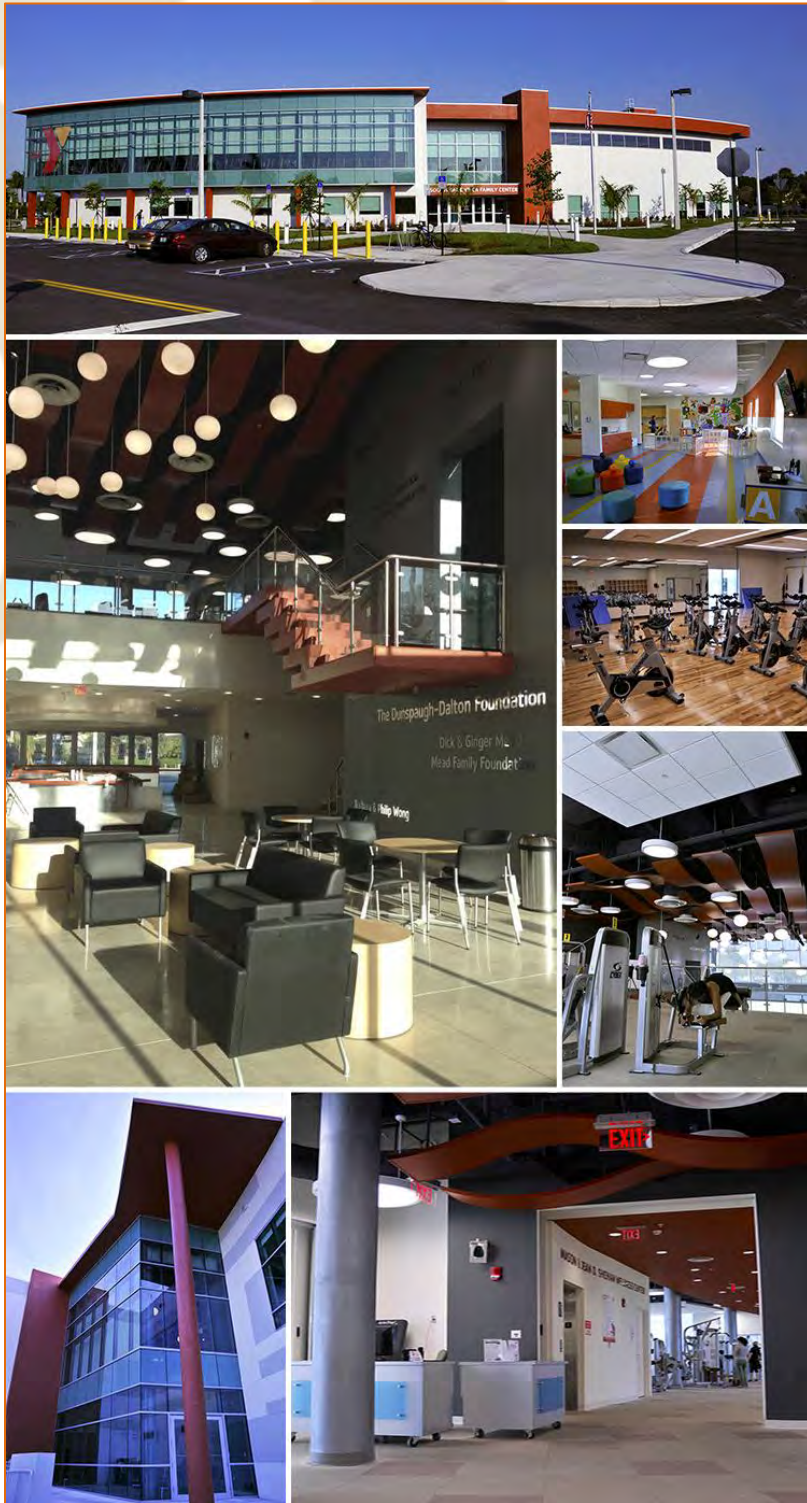
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|---|--|
| Name of Project Miami Southridge Park Stadium Miami, Florida | Project Start / Completion Dates Start Date: 2005 Completion Date: 2010 |
| Project Owner Miami-Dade County - Parks & Recreation Department Miami-Dade County, Florida | |
| Project Scope A 16.1 acre community park with a 5,232 sf field building consisting of ticket counters, a concession stand and restrooms, bleacher seating for 1,512 spectators, a lighted parking area with connecting walkways and perimeter fence, and full handicap accessibility to the entire complex. | |



| | |
|--|--|
| Name of Project Royal Oaks Park Community Center LEED GOLD Certified for New Construction Miami Lakes, Florida | Project Start / Completion Dates Start Date: 2007 Completion Date: 2009 |
| Project Owner Town of Miami Lakes Miami Lakes, Florida | |
| Project Scope Developing a community center located in Royal Oaks Park. The facility was designed to meet the character of the community and developed to meet the functional needs of the town. The community center is a one-story, 8,172 gross sq. ft. air-conditioned Clubhouse/Gymnasium containing a large multipurpose space, administrative offices, toilet rooms, storage rooms, and other supporting spaces. | |



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* Individual Experience: Judy Carty Architect of Record

YMCA South Dade*

Phase 1: New Construction

Service/Construction 2012-2013

Location Miami, FL

Total Size 40,000 SF

Construction Cost \$7.8M

Owner YMCA

Contact Ann Pope

Project Description

The complex includes a two-story main building with expansive glazing overlooking the adjacent street and showcasing the upper floor wellness areas. On the upper floor there are two flexible fitness studios, stretching, storage, mini-lockers, trainer, and related areas. The main floor includes a two-court gymnasium, two multi-purpose meeting rooms, administrative offices, facilities for childcare, as well as member locker and family rooms. The double height lounge links the two floors and overlooks the outdoor aquatics complex with an integrated lap and recreational pool and 4,000 square foot support building. A 300 vehicle parking lot was also included.

Role

Architect of Record

Consultants

Martinez Engineering Group

TLC Engineering

Miller Legg Engineering

Services

Architectural Design

Interior Design

Landscaping Design

Structural Engineering

Mechanical /Electrical/Plumbing Engineering

Fire Protection

Civil Engineering

CartyArchitecture



FAU Recreation Center*

Phase 2: New Construction

Service/Construction 2007-2010

Location Boca Raton, FL

Total Size 40,000 SF

Construction Cost \$7M

Owner Florida Atlantic University

Contact Paulo Brida

Project Description

The project consists of an extension of the existing fitness, administration, and support building positioned around a central, two-story lobby. The expansion includes: a new outdoor pool, pool terrace, life guard office, supporting pool facilities, and a new two-court multi-purpose gymnasium.

Role

Architect of Record

Consultants

Martinez Engineering Group

TLC Engineering

Miller Legg Engineering

Services

Architectural Design

Interior Design

Landscaping Design

Structural Engineering

Mechanical Engineering

Electrical Engineering

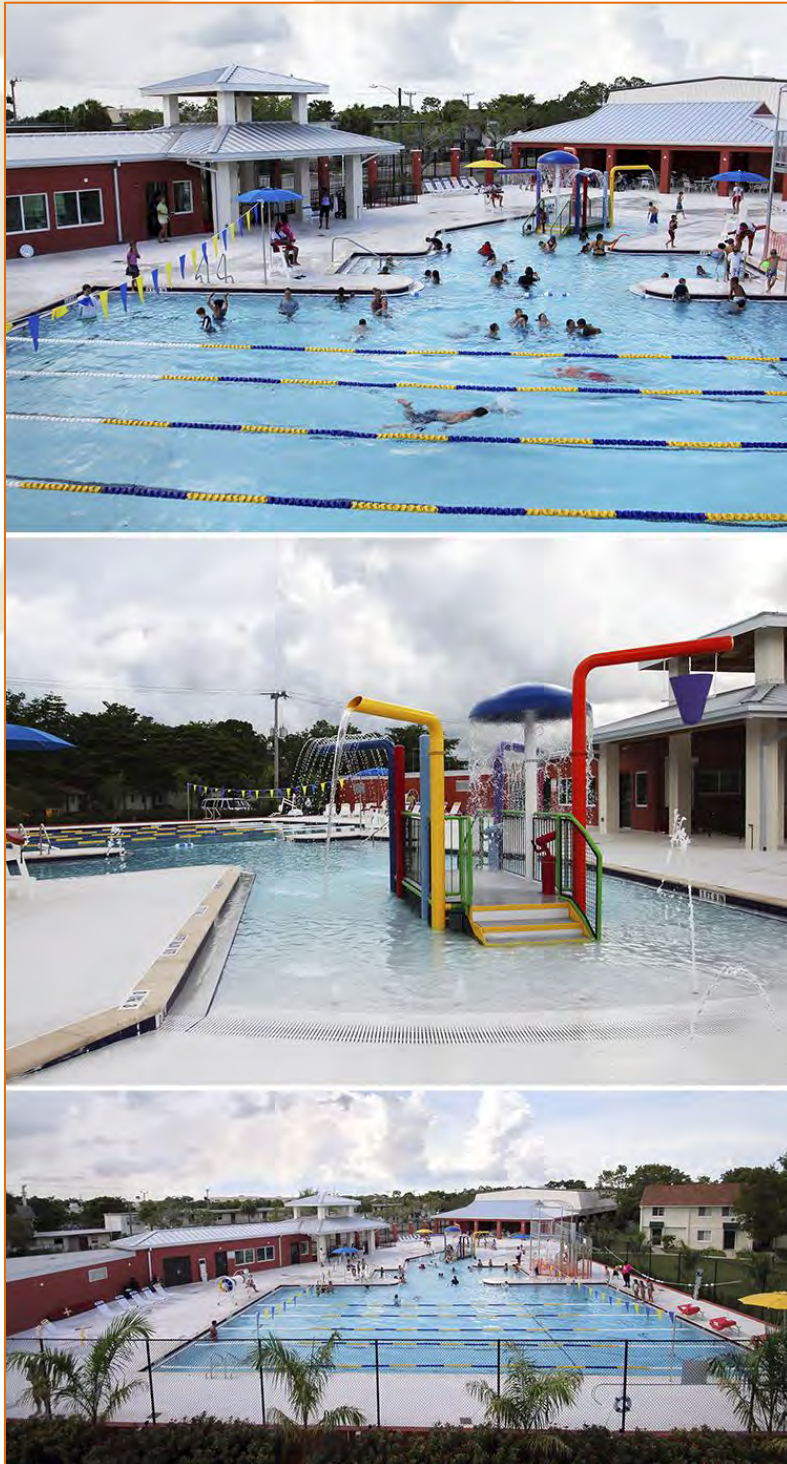
Plumbing Engineering

Fire Protection

Civil Engineering

* Individual Experience: Judy Carty Architect of Record

CartyArchitecture



Naples River Park Aquatics*

New Construction

Service/Construction 2010-2012

Location Naples, FL

Total Size 3,100 SF

Construction Cost \$1.5M

Owner City of Naples

Contact Dave Lykins

Project Description

The complex is neighborhood aquatic facility located adjacent to an existing Community Center. The new pool consists of a six lane lap pool, a learn-to-swim area, and a zero entry area with a large play feature. The bath house includes men, women, and family restrooms, showers, and locker areas. The main entry building houses the lifeguard office, ticket booth, storage, kitchen, pump equipment, and a double height covered entry.

Role

Architect of Record

Consultants

TLC Engineering

Aqua Dynamics

Services

Architectural Design

Landscaping Design

Structural Engineering

Mechanical Engineering

Electrical Engineering

Plumbing Engineering

Fire Protection

Civil Engineering

* Individual Experience: Judy Carty Architect of Record

CartyArchitecture



PGA National Resort & Spa*

Addition and Interior Renovations

Service/Construction 2006-2008
Location Palm Beach Gardens, FL
Total Size 26 Acre
Construction Cost \$15 M

Owner Walton Florida Golf Resort
Contact Bob Korsmeier

Project Description

The multi-million dollar renovation of the PGA National Resort & Spa. This project had an 18 phase project program. Renovations began with a re-design of the front entrance to the resort and continue with the lobby, featuring a contemporary lobby bar, a new restaurant, the expanded Business Concierge Lounge, and Coffee Shop. Outside the lobby's back wall of floor-to-ceiling windows, a completely redesigned free-form pool with lush landscaping, water features, private cabana rooms, a children's pool and play area, and re-developed Wave Bar & Grill.

Role

Architect of Record

Consultants

Martinez Engineering Group
TLC Engineering
Miller Legg Engineering

Services

Architectural Design
Interior Design
Landscaping Design
Structural Engineering
Mechanical Engineering
Electrical Engineering
Plumbing Engineering
Fire Protection



* Individual Experience: Judy Carty Architect of Record

Frank Regueyra



Ft. Bliss Indoor Aquatics Center, Ft. Bliss, TX
CLIENT: U.S. Army Corps of Engineers VALUE: \$13.8M ROLE: D/B

A new 49,800 SF Indoor Aquatics Center in Ft. Bliss, Texas, which serves as soldier training space for water-based maneuvers and doubles as recreation space for soldiers and their families. Features of the new Indoor Aquatics Center include: 50M, 8-lane lap pool; deep water training tank; multi-purpose pool; training rooms and classrooms; and locker rooms. The project was designed and constructed for LEED Silver certification. As the design/builder, we were responsible for design coordination, establishment of the overall project schedule, cost control, safety management and coordination with all USACE personnel.

Ft. Stewart Physical Fitness Facility, Ft. Stewart, GA

CLIENT: U.S. Army Corps of Engineers, Savannah District VALUE: \$17.4M ROLE: D/B

A new 80,327 SF, two-story Physical Fitness Facility at Ft. Stewart, Georgia, includes an indoor pool (natatorium), running track, gymnasium, fitness module, entrance lobby with climbing wall feature, spinning room and racquetball courts. Additional features include aerobics module, concessions, day care, locker rooms with saunas and cycling. The project is certified with a LEED Silver rating. As design/builder, we were responsible for design coordination, establishment of the overall project schedule, cost control, safety management and coordination with all USACE personnel.

Frank Regueyra



YWCA of Greater Cincinnati, Cincinnati, OH

CLIENT: YWCA VALUE: \$2M ROLE: GC

A renovation of an existing facility, which includes renovating an indoor pool (natatorium), gymnasium, fitness module, and entrance lobby with. Additional features include, day care, locker rooms with saunas and cycling. As the general contractor, we were responsible for design coordination, establishment of the overall project schedule, cost control, safety management and coordination with all USACE personnel.



Trotwood-Madison City Schools, Trotwood, OH

CLIENT: Trotwood-Madison City School District

VALUE: \$75M ROLE: CM

The district-wide construction project for the Trotwood-Madison City School district Phase I consisted of a 231,000 SF new high school, with a centralized media center, special education classrooms, science rooms, art rooms and life skills rooms. The project also included a 500-seat auditorium, natatorium, multiple gymnasiums, football stadium, eight-lane track and field, and soccer field and tennis courts.



YMCA - Champaign, Illinois

Designer Counsilman Hunsaker

Location YMCA, Champaign, IL

Budget \$1.6 Million

The new Champaign, IL YMCA is a state of the art facility with 7,648 sq ft of family and therapy pools with tile gutter overflow, diamond bright plaster finishes and a high rate sand filter system. Play features include a slide and floatables, which the CEO says, has made the YMCA "a huge success in our community."

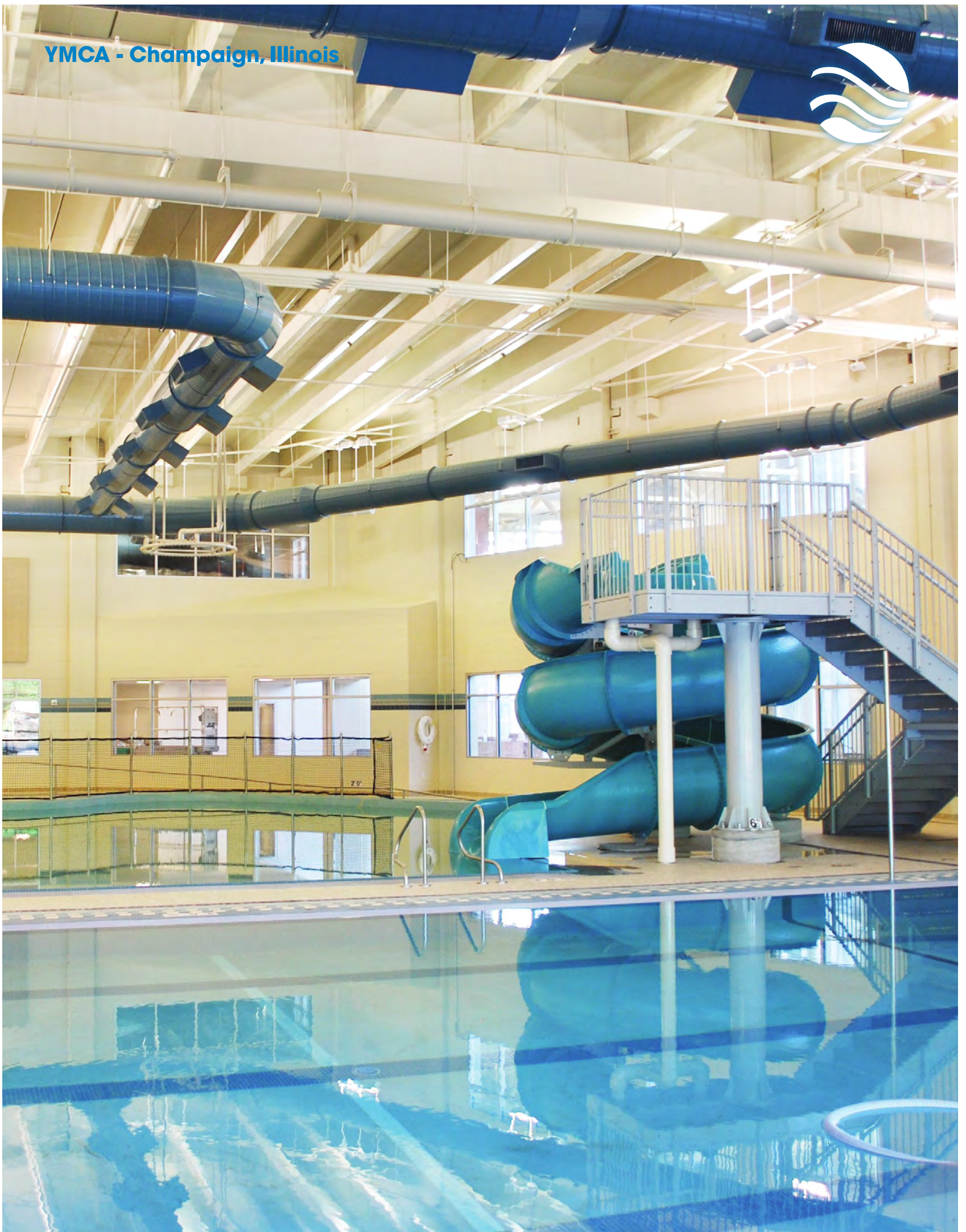
The facility has three indoor bodies of water. The largest is an 8-lane competition/lap pool. There is also a leisure pool with a zero entry, a water slide and two lap lanes, which provide a playful element for the younger swimmers. A special therapy pool was also designed with an underwater bench and access ramp. This unique pool is specially maintained at 90 degrees to give rehabilitation patients the best chance for healing and recovery.

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City Park Aquatic Center - Manhattan, Kansas

Designer *Buildings* Anderson Knight Architects
Pools Councilman Hunsaker

Location Poyntz Avenue, Manhattan, KS

Budget \$7.5 Million

Now you can surf in Kansas!! Manhattan, Kansas has a 70,000+ sq ft outdoor recreational facility with a competition pool and a play area that includes the first Stingray Surf Pool in the United States and one of only three Wet Bubble 360-degree slides in the country.

Using Capri's popular design-build process, the City developed over 23,323 sq ft of water surface with a state of the art bathhouse and concessions area. The facility has a 50-meter competition pool with 1 and 3-meter dive stands.

An elevated plunge pool entertains more advanced swimmers along with the large open flume slide and enclosed speed slide. Recreational swimmers enjoy a drop slide, leisure pool, lazy river, vortex, floating apple pad walk and interactive play. A tot pool with a tot slide and play entertains the little ones.

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City Park Aquatic Center - Manhattan, Kansas





Rogers Aquatic Center - Rogers, Arkansas

Designer Counsilman Hunsaker

Location Rogers Aquatic Center, Rogers, AR

Budget \$4 Million

Rogers, Arkansas – where possible lives! The Rogers Aquatic Center features five bodies of water totaling 18,172 sq ft of water surface. This premier outdoor facility boasts an 8-lane, 25-yard competition pool with two 1-meter dive stands. Attractions include a zero entry leisure pool with an interactive play structure, a lily pad walk, floatables and a sun deck.

Capri Pools & Aquatics also built the Center's 500 ft lazy river and plunge area with an open flume slide and speed slide. The river incorporates a vortex, hydrotherapy bench and wet deck. Younger visitors enjoy the tot pool with slide, ramp entry, play features and water sprays.

The spray ground has a unique multiple deck level and elevated spray features. The dual speed slides feature deck level run-outs, a bowl slide with a splashdown pool and an aquatic climbing wall.

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capripool.com



Rogers Aquatic Center - Rogers, Arkansas





Schlitterbahn - Kansas City, Kansas

Designer Schlitterbahn & BSE Structural Engineers

Location Schlitterbahn Waterpark, Kansas City, KS

Budget \$2.5 Million

Schlitterbahn, recognized for its innovative and world record-breaking attractions, chose Capri Pools and Aquatics to design and build the world's longest wave river with zero entry beach and slide splashdown.

The project team used their extensive knowledge of concrete to meet the owner's aggressive schedule. The attraction has over 250,000 sq ft of water surface with approximately 1 mile of 10 ft tall walls and nearly 3,000 cubic yards of concrete. As part of the Transportainment River System, guests at the Kansas City Schlitterbahn can now travel from one end of the park to the other without ever leaving the water.

Schlitterbahn provides an ultimate water experience for the whole family to enjoy. The Kansas City park has continued adding new attractions and has built the tallest water slide in the world, a 168-foot coaster with two exciting drops to thrill even the most daring adventure seekers.

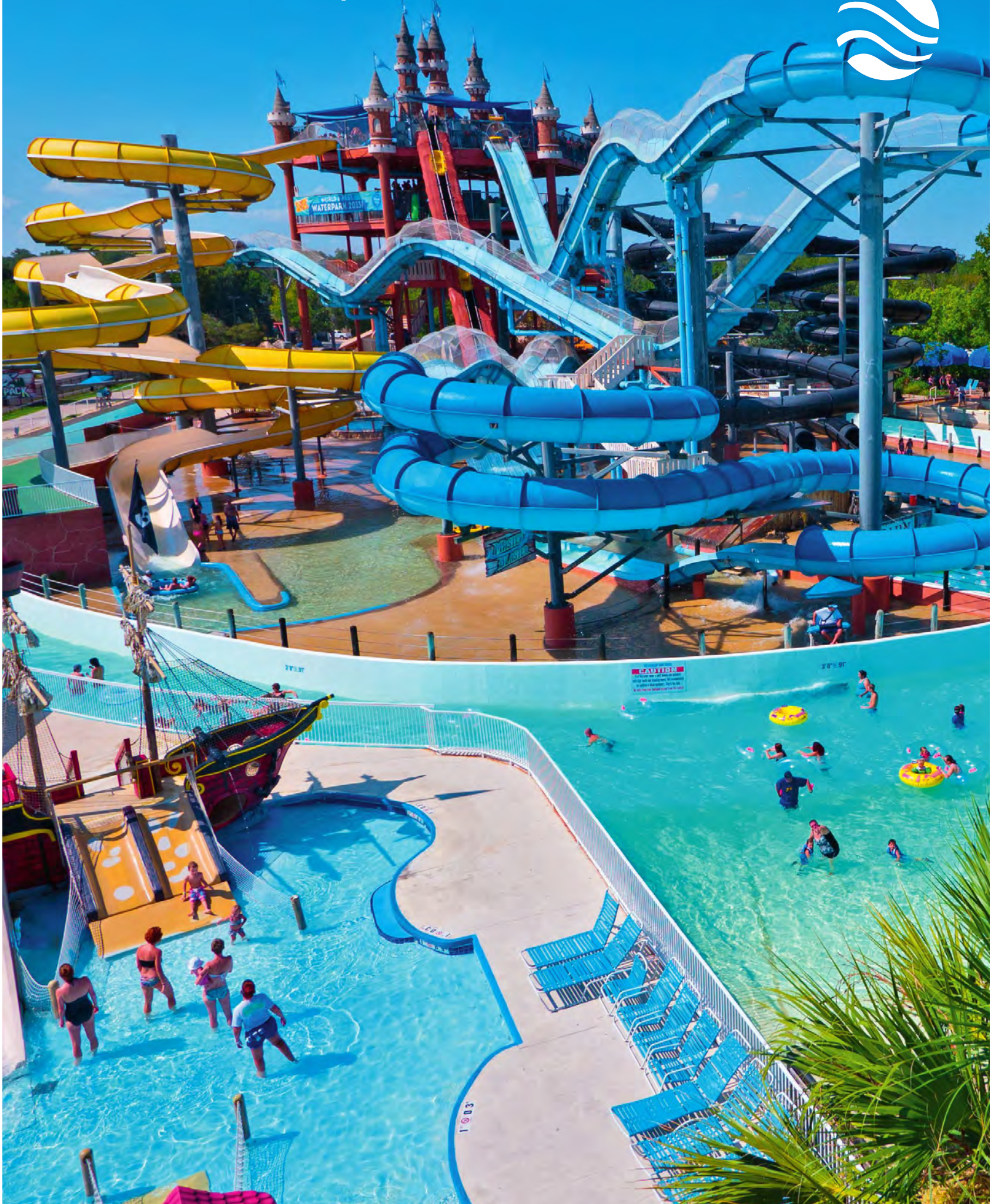
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Schlitterbahn – Kansas City, Kansas





Firm's Name: Laura Llerena & Associates, Inc.

Client's Name: KVH Architects

Project Name: West Perrine Park Family Aquatic Center Phase I

Project Cost: \$ 8.5 million estimated

Our Fees \$ 9,900.00

Project Start Date: 2003

Type of Services: Full Landscape Design Services

Project Description: This project consisted of the development of an Aquatic Center for the community of West Perrine. It included a large pool area and kids slide and wet play area. Our scope consisted of a visual site analysis (in order to verify type and sizes of existing trees), the preparation of an existing tree/mitigation plan, the preparation of a draft DERM permit and the preparation of landscape and Irrigation design development documents and construction documents. We will also perform construction administration services during construction.

Name of Key Individuals

Involved in the Project: Laura M. Llerena-Hernandez, Principal
Jason T. Korose, Senior Project Manager

Contact: Ms. Caridad Hidalgo-Gato
KVH Architects
3900 NW 79th Avenue
Miami, Fl 33166
(305) 599-5296



Firm's Name: Laura Llerena & Associates, Inc.

Client's Name: KVH Architects

Project Name: West Perrine Park Family Aquatic Center Phase I

Project Cost: \$ 8.5 million estimated

Our Fees \$ 9,900.00

Project Start Date: 2003

Type of Services: Full Landscape Design Services

Project Description: This project consisted of the development of an Aquatic Center for the community of West Perrine. It included a large pool area and kids slide and wet play area. Our scope consisted of a visual site analysis (in order to verify type and sizes of existing trees), the preparation of an existing tree/mitigation plan, the preparation of a draft DERM permit and the preparation of landscape and Irrigation design development documents and construction documents. We will also perform construction administration services during construction.

Name of Key Individuals

Involved in the Project: Laura M. Llerena-Hernandez, Principal
Jason T. Korose, Senior Project Manager

Contact: Ms. Caridad Hidalgo-Gato
KVH Architects
3900 NW 79th Avenue
Miami, Fl 33166
(305) 599-5296



Firm's Name: Laura Llerena & Associates, Inc.

Client's Name: BEA Architects

Project Name: Ransom Everglades Aquatic Center – 3575 Main Highway,
Coconut Grove, FL

Project Cost: \$ over \$8 million dollars

Our Fees \$ 6,800.00

Project Start Date: March, 2010

Type of Services: Full Landscape Design Services

Project Description: This project consisted of the development of a new pool facility and adjacent parking area for Ransom Everglades School. Our scope consisted of a visual site analysis (in order to verify type and sizes of existing trees), the preparation of an existing tree/mitigation plan, the preparation of a draft DERM permit and the preparation of landscape and Irrigation Design Development Documents through Construction Documents.

Name of Key Individuals

Involved in the Project: Laura M. Llerena-Hernandez, Principal
Jason Korose, Senior Project Manager

Contact: Mr. Jose Fernandez
BEA Architects
3075 NW South River Drive
Miami, Florida
(305) 461-2053



Firm's Name: Laura Llerena & Associates, Inc.

Client's Name: KVH Architects

Project Name: Crandon Park Marina

Project Cost: \$ 3.5 million

Our Fees: \$ 33,500.00

Project Start Date: 2007 - Completed 2014

Type of Services: Full Landscape Design Services

Project Description: This project consisted of the improvement and beautification of the Crandon Park Marina. Crandon Boulevard has extensive landscaping so it was the intent of the owner to create the same tropical and welcoming impact for this project. Prior to the start of design work our office performed a thorough site analysis in where we identified and sized all existing trees and where we identified areas of concern and potential. Considering the amount of trees on the site it was our intent to keep and utilize as many of them as possible. Those that had to be removed or relocated had to be permitted through DERM. In addition our scope also included preparation of landscape and irrigation design development documents through construction documents. Several coordination meetings were also held throughout the design process. Construction administration services were also provided.

Name of Key Individuals

Involved in the Project: Laura M. Llerena-Hernandez, Principal
Jason Korose, Senior Project Manager

Contact: Ms. Caridad Hidalgo-Gato
KVH Architects
3900 NW 79 Avenue
Miami, FL 33166
(305) 599-5296



Firm's Name: Laura Llerena & Associates, Inc.

Client's Name: BEA Architects

Project Name: Pelican Harbor Marina

Project Cost: \$ 1.84 million

Our Fees: \$ 8,195.00

Project Start Date: 2007

Type of Services: Full Landscape Design Services

Project Description: Professional services included a thorough site analysis prior to start of design work. In addition we prepared landscape and irrigation design development documents through construction documents. Our office attended various coordination meetings throughout the design phase. We also performed construction administration services during construction of the new marina and parking area.

Name of Key Individuals

Involved in the Project: Laura M. Llerena-Hernandez, Principal
Jason Korose, Senior Project Manager

Contact Jose Fernandez
BEA Architects
3075 NW South River Drive
Miami, FL 33142
(305) 461-2053



Everglades on the Bay-Landscape Improvements

YEAR COMPLETED: 2012

PROJECT OWNER: Everglades on the Bay Master Association

POINT OF CONTACT: Jeff Morris 609.577.7099

Vizcayne (formerly known as "Everglades on the Bay") is an urban development in the City of Miami. It is located in northeastern Downtown, and forms part of the Biscayne Wall, a series of skyscrapers visible from Biscayne Bay along the west side of Biscayne Boulevard. It consists of two residential skyscrapers, North Tower and the South Tower, as well as a retail center. The project went into foreclosure prior to receiving a certificate of occupancy. Chen Moore and Associates has assumed responsibilities as landscape architect of record for the remodeling and permitting of the project and has been providing landscape and hardscape design improvements to the 8th floor amenities level which includes three swimming pools, water features, outdoor open space, bathrooms, and entertainment areas for residents of the building. Chen Moore is also redesigning the street level entrances and landscapes. Permitting is through the City of Miami. Fee: \$5,300





Ransom Everglades Aquatic Center

YEAR COMPLETED: 2010

PROJECT OWNER: Ransom Everglades School

POINT OF CONTACT:

Andy De Angulo 305-460-8800

This state-of-the-art facility is in use year-round for classes, competition, and community service. The stunning new aquatic center is located on the Upper School campus where the existing tennis courts were located. Two tennis courts were built where the current pool stood. By relocating the aquatic center, they were able to continue the aquatic program during the construction of the new facility - An Olympic-sized Pool (50-meter) with top-of-the-line accessories, including a color video scoreboard & an underwater sound system.

- 7 ft. deep, which surpasses the minimum requirements for swimming and for water polo.
- 16 Competition Lanes 25-yard lanes (or 8 competition lanes at 50-meters)
- Fast Pool (It will be one of the only Fast Pools in the area)
- Gutter system (wide and deep to keep water from flowing back to pool)
- Width (wider lanes for swimmers to cut down on wave action)
- Depth (needs to be perfect- too deep blurs vision)
- Temperature (chilled in summer, heated in winter)
- Lane Lines (wave eaters- keep water as flat as possible)

On April 27-28, 2012, the new Ransom Everglades Aquatic Center hosted the FHSAA Water Polo Finals. The top 8 boys' and top 8 girls' teams from across the state convened at Ransom Everglades to battle for the State Championship. Final cost unknown.



USACE Vicksburg HVAC Repair

Location: Cape Canaveral AFS, FL
Agency: US Air Force
Lunacon's Role: Design-Builder
Total \$ Value: \$2,911,474
Start/Completion: 11/05/2012 - 10/22/2013

General Scope of the Project:

The scope of Work for this project consists of Design/Build for the replacement of HVAC system in a two-story, 69,000 square foot administrative building in Vicksburg, Mississippi. This effort required significant design coordination. The effort will also include the installation of a complete Direct Digital Control (DDC) system throughout the facility. All the internal systems including control wiring, actuators, sensors, and related items will be replaced. The overall project consist of replacing the existing two 70 ton air cooled chillers and a 1517 WBH natural gas fired boiler; Chilled water and hot water pumps; 3 large air handlers and approximately 36 fan coils or air handlers located in ceiling spaces will be replaced with equivalent equipment or with a new VAV air distribution system. All the work for this project will be completed while the facility is fully occupied and operational. The new project includes renovation of an existing facility. This project is a renovation of a government facility, which consists of the following similar work examples: Mechanical systems repair in an occupied environment.

Customer Point of Contact:

Jonathan Silas - Contract Specialist
(321) 853-0874



AWARDS OR RECOGNITION: Substantial Confidence

Evaluator remarks:

Great Contractor to work with; Always professional and prompt with paperwork and meetings.

- Jonathan Silas, COR / USACE



Cape Canaveral Air Force Station - SABER

Location: Cape Canaveral AFS, FL
Agency: US Air Force
Lunacon's Role: Design-Builder
Total \$ Value: \$11.5M (total combined)
Start/Completion: 10/2010 - 12/2013

General Scope of the Project:

A series of new construction and renovations at Wright-Patterson Air Force Base including overhaul of historic Buildings 1 and 56; remodeling and upgrades to dormitories, Visiting Officers' Quarters and Distinguished Visitors Quarters; rewiring and HVAC work in Building 7; and administrative and classroom renovations in Reserve Training Center 4014 and the Air Force Institute of Technology (AFIT).

Additional Task Orders included: Repair North Wing Hangar "F", Repair ADA Compliance at MOC Facility, CX14 Blockhouse Stabilization, Construct Corrosion Test Racks, Repair Lighting Protection at TEL IV, Repair HVAC, NOTU Port OPPs, Repair HVAC, NOTU Admin Bldg., Repair HVAC, NOTU Hanger Y 2nd floor, Construct Fence around Soil Stockpile, Repair North Wing Hangar D, Repair GPS Shelter B, Vehicle Inspection Facility, Repair Perimeter Lighting CX-37, Construct Addition to Facility 1064, Upgrade Power & HVAC to GTB, Repair Electrical & AC DASO HQ, Repair NOTU CX-46 Generator & Electrical, Repair BCE Admin for Emergency Operations Center Fac. 85125, Wetland Restoration CX-40, Repair Conference Room at MOC Fac. 89100, Construct Pump Station 7 Support Fac. 29150, LED Street and Parking Lot Lighting Installation, LED Street and Parking Lot Lighting Installation PAFB SXHT 12-1085

Customer Point of Contact:

Carl Davidson - Contract Specialist
(321) 853-0874



Homestead AFB and South Facility

Location: Homestead AFB
Coral Gables, FL

Agency: USACE, Mobile District

Lunacon's Role: Design-Builder

Total \$ Value: \$4,332,375

Start/Completion: 11/05/2012 - 10/22/2013

General Scope of the Project:

This was a combination of multiple projects on going simultaneously throughout Homestead AFB and USSOC SOUTH facilities for the USACE Mobile Districts. The following is a list of some of the projects:

Security Upgrades USSOCSOUTH: The work consisted primarily of removal and replacement of perimeter security fence and other associated work in 3 areas. Primary Security Fence Summary: Remove Existing Gate and replace with new, Install new gate operator and new slide gate. Install new man gates. Install new LED entry key pad. Cut back all trees 15 feet along fence line on each side. Area 2, Secondary Gate Summary: Remove existing fencing and replace with new Fencing. Install new slide gate. Remove 1 existing man gate and side walk leading to gate. Finally cut back all trees 15 feet along fence line on each side. Area 3, Perimeter Fence Summary: Remove portion of perimeter fence and replace with new Fencing, Install new double swing gate and 1 new man gate. Remove Australian Pines in area a grind stumps 2" below soil. Remove old wood shed tangled in existing fencing due to storm damage. Repair Solar Light concrete base and replace Solar Light parts blown away during storm.

Shade Structure: The overall project involves providing and constructing structural steel Pavilion & concrete foundation, Pedestrian Crossover Bridge & concrete abutments, electrical, and potable water. Additional civil work includes storm water drainage & grading to include land clearing, pavement restoration, swales, berms, provision of clean fill, and provide culver miter end grates. The work is located in a non-secure area (escorts are not necessary) and work will be accomplished during the standard hours established in the contract.

Customer Point of Contact:

Brian Dykes - Project Manager
(251) 690-3431



FT. Stewart SATOC

Location: Savannah, GA
Agency: USACE, Savannah District
Lunacon's Role: Design-Builder
Total \$ Value: \$4,100,000
Start/Completion: 11/05/2012 - 10/22/2013

General Scope of the Project:

This was a combination of multiple projects on going simultaneously throughout Ft. Stewart, GA. The following is a list of some of the projects:

Building 937: Design and construction of 3,100 SF addition to match the existing Building 937 and associated organizational parking, loading/unloading, and storage facilities consisting of a warehouse, administrative offices, and the relocation/installation of existing equipment from other locations on site to this facility. The project also involved the construction of a new parking lot and a secured storage area.

Organizational Storage: The scope of work includes the design and construction of 2 Organizational Storage buildings approximately 4,200 SF each with internal metal cages for platoon/section storage, electricity for interior lighting and a fire detection system. Site preparations and development included utilities, sidewalks, parking and supporting drainage.

Taxiway D Restoration: This project consists of clearing and grubbing wooded areas within the limits of disturbance that are not delineated wetlands. All wooded areas that delineated wetlands shall be cleared only. It includes demolition, grading, cut/fill, and finish grading along the Taxiway D. Remove/replace existing pavement and concrete, Install Erosion Control and topsoil, Relocate existing Inlets/Outfalls for storm drainage, add new storm piping and drainage.

Red Cloud Range Alpha: Design and construct a subsurface disposal system for existing latrine, Bldg 18540 at Red Cloud Range Alpha. Verification of the existing conditions and modify the provided preliminary design/specifications to provide a complete and operational sewage drain field; clear & dispose grub trees/shrubs in areas shown in the contract drawings; remove all debris and earthwork; install a 6000 gallon septic tank, package lift station w/valve box, chain link fence, vent-odor control system, sanitary force mains, access road, and subsurface disposal system; provide electric power systems.

Renovate Wash Rack Facility #851: Renovation of existing wash rack # 851 is to address environmental non-compliance and to re-task to helicopter use from large craft configuration. Our team had to complete a detailed site survey with utility location of all underground clearly labeled prior to completion of design or start of demolition. The work included the removal of all existing utilities in the area, installation of new utilities removal of 300 LF 16" thick concrete slabs to install the new utilities.

Customer Point of Contact:

Vickie Gatling - Contracting Officer
(312) 652-5557

Alleguez Architecture



PROJECT EXPERIENCE

**Miami Dade College
InterAmerican Campus**
Remodel, Renovation, Addition

Service/Construction 2001-2002

Location Miami, FL

Total Size 40,000 SF

Construction Cost \$4.9M

Owner Miami Dade College

Contact Gloria Jacomino

Project Description

40,000SF, 4-stories of existing academic spaces, renovated, remodeled and addition. New work accommodated the Arts and Sciences. The basic program requirements were aggressive and challenging because of the limited building space. The entire building required that it be gutted so that the new spaces could be developed and necessary infrastructure incorporated to make the building meet not only today's stringent codes but also the extensive programmatic requirements. Since the construction on the original structure in the 60's, it has been through various modifications. This building originally housed a bank and professional office spaces. During previous modifications, double height spaces had been in-filled to increase useable building area. The existing bank vault structure and low clearances between floors added difficulty to the project along with a lack of documented as-built conditions.

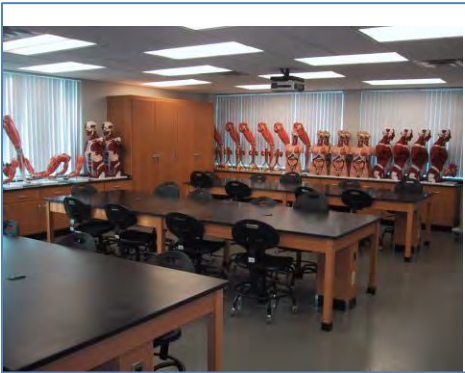
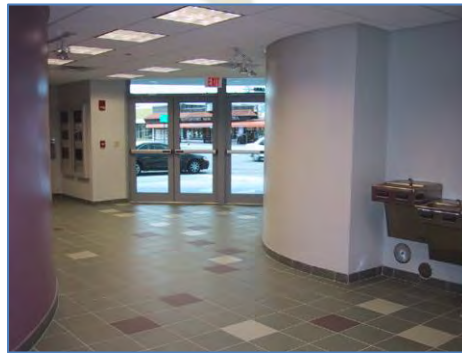
Role

Architect of Record

Consultants

SDM Consulting Engineers

EAC Consulting Inc.



Tab (C) Capabilities and Finances

(C.1) Deliverable/Responsiveness

(C.2) Approach and Methodology

- Design Approach
- Schedule
- Site Logistics and Phasing

(C.3) Budget Control / Cost Estimating

(C.4) Financial Stability

(C.5) Location / Availability

(C.6) Equipment List



The following information demonstrates the Team’s past performance on similar projects including quality and timeliness of project delivery. Please refer to Tabs (B.2), (B.3) and (B.4) for detailed project information.



Renovations of Hangars C, D, & F

| | | | | | | |
|-----------------------|---------------------|-----------------------------|----------------|---|---|---|
| Start Date 10/2011 | End Date 10/2013 | Length of Contract 2 yrs | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |

USACE Vicksburg HVAC Repair

| | | | | | | |
|-----------------------|--------------------|------------------------------|----------------|---|---|---|
| Start Date 11/2012 | End Date 9/2013 | Length of Contract 11 mos | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | | |

USDA AQI Lab - Renovations of Building 63

| | | | | | | |
|----------------------|--------------------|------------------------------|----------------|---|---|---|
| Start Date 1/2011 | End Date 3/2012 | Length of Contract 14 mos | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |

Ft. Bliss Indoor Aquatics Center

| | | | | | | |
|----------------------|--------------------|------------------------------|----------------|---|---|---|
| Start Date 4/2012 | End Date 3/2013 | Length of Contract 11 mos | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | | |

Ft. Stewart Physical Fitness Facility

| | | | | | | |
|----------------------|--------------------|------------------------------|---|---|---|---|
| Start Date 8/2011 | End Date 7/2012 | Length of Contract 11 mos | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Fast-Tracked <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
|----------------------|--------------------|------------------------------|---|---|---|---|

YWCA of Greater Cincinnati

| | | | | | | |
|----------------------|---------------------|------------------------------|---|---|---|---|
| Start Date 9/1996 | End Date 10/1997 | Length of Contract 13 mos | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Fast-Tracked <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
|----------------------|---------------------|------------------------------|---|---|---|---|

Trotwood-Madison City Schools

| | | | | | | |
|----------------------|--------------------|------------------------------|---|---|---|---|
| Start Date 4/2008 | End Date 8/2009 | Length of Contract 16 mos | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Fast-Tracked <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
|----------------------|--------------------|------------------------------|---|---|---|---|

CartyArchitecture

Joseph Carter Park

| | | | | | |
|--------------------|------------------|------------------------------|---|---|---|
| Start Date 2012 | End Date 2013 | Length of Contract 1 Year | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |

Moore Park Athletic Facility

| | | | | | |
|--------------------|------------------|-------------------------------|---|---|---|
| Start Date 2009 | End Date 2011 | Length of Contract 2 Years | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |

Sarasota National Cemetery

| | | | | | |
|--------------------|------------------|-------------------------------|---|---|---|
| Start Date 2007 | End Date 2012 | Length of Contract 5 Years | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |

South FL National Cemetery

| | | | | | |
|--------------------|------------------|-------------------------------|---|---|---|
| Start Date 2007 | End Date 2009 | Length of Contract 2 Years | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | | |

South Terminal Expansion

| | | | | | |
|--------------------|------------------|--------------------------------|---|---|---|
| Start Date 1997 | End Date 2007 | Length of Contract 10 Years | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | | |

MIA South PGDS

| | | | | | | |
|--------------------|------------------|------------------------------|---|---|---|---|
| Start Date 2012 | End Date 2013 | Length of Contract 1 Year | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Fast-Tracked <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
|--------------------|------------------|------------------------------|---|---|---|---|

YMCA South Dade

| | | | | | | |
|--------------------|------------------|------------------------------|---|---|---|---|
| Start Date 2012 | End Date 2013 | Length of Contract 1 Year | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Fast-Tracked <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
|--------------------|------------------|------------------------------|---|---|---|---|

FAU Recreation Center

| | | | | | | |
|--------------------|------------------|-------------------------------|---|---|---|---|
| Start Date 2007 | End Date 2010 | Length of Contract 3 Years | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Fast-Tracked <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
|--------------------|------------------|-------------------------------|---|---|---|---|

Naples River Park Aquatics

| | | | | | | |
|--------------------|------------------|-------------------------------|---|---|---|---|
| Start Date 2010 | End Date 2012 | Length of Contract 2 Years | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Fast-Tracked <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
|--------------------|------------------|-------------------------------|---|---|---|---|

PGA National Resort & Spa

| | | | | | | |
|--------------------|------------------|-------------------------------|---|---|---|---|
| Start Date 2007 | End Date 2009 | Length of Contract 2 Years | Time Extension <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Fast-Tracked <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
|--------------------|------------------|-------------------------------|---|---|---|---|



Alleguez Architecture, Inc.

Miami Dade College Inter-American Campus

| | | | | | | |
|------------|----------|--------------------|----------------|--|---|--|
| Start Date | End Date | Length of Contract | Time Extension | <input type="checkbox"/> Y <input type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input type="checkbox"/> Y <input type="checkbox"/> N |
| 2000 | 2002 | | Fast-Tracked | <input type="checkbox"/> Y <input type="checkbox"/> N | | |

MDFR Redland Fire Station

| | | | | | | |
|------------|----------|--------------------|----------------|---|---|---|
| Start Date | End Date | Length of Contract | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| 2004 | 2005 | 1 year | Fast-Tracked | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | | |

Tropical Park Equestrian Center

| | | | | | | |
|------------|----------|--------------------|----------------|--|---|--|
| Start Date | End Date | Length of Contract | Time Extension | <input type="checkbox"/> Y <input type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input type="checkbox"/> Y <input type="checkbox"/> N | | |

MDFR West Kendall Fire Station

| | | | | | | |
|------------|----------|--------------------|----------------|---|---|---|
| Start Date | End Date | Length of Contract | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| 2002 | 2003 | | Fast-Tracked | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | | |

Coral Springs Nature Center

| | | | | | | |
|------------|----------|--------------------|----------------|---|---|---|
| Start Date | End Date | Length of Contract | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| 2004 | 2005 | 1yr | Fast-Tracked | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | | |





Arcola Lakes Park – Senior Center & Pool

| | | | | | | |
|------|------|---------|----------------|---|---|---|
| 2009 | 2014 | 5 years | Time Extension | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |

Melreese Golf Training Facility

| | | | | | | |
|------|------|---------|----------------|---|---|---|
| 2009 | 2013 | 4 years | Time Extension | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |

Vizcaya Park Community Center

| | | | | | | |
|------|------|---------|----------------|---|---|---|
| 2009 | 2012 | 3 years | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |

Miami Southridge Park Stadium

| | | | | | | |
|------|------|---------|----------------|---|---|---|
| 2005 | 2010 | 5 years | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |

Royal Oaks Park Community Center

| | | | | | | |
|------|------|---------|----------------|---|---|---|
| 2007 | 2009 | 2 years | Time Extension | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input checked="" type="checkbox"/> Y <input type="checkbox"/> N |
| | | | Fast-Tracked | <input type="checkbox"/> Y <input checked="" type="checkbox"/> N | | |





YMCA - Champaign, IL

| | | | | | | |
|-------------------------|------------------------|--------------------------------|--------------------------------|--|---|----------------------------|
| Start Date June 2011 | End Date March 2012 | Length of Contract 9 Months | Time Extension Fast-Tracked | <input type="checkbox"/> N <input type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input type="checkbox"/> Y |
|-------------------------|------------------------|--------------------------------|--------------------------------|--|---|----------------------------|

City Park Aquatic Center

| | | | | | | |
|------------------------|-----------------------|--------------------------------|--------------------------------|--|---|----------------------------|
| Start Date Oct 2009 | End Date June 2010 | Length of Contract 8 months | Time Extension Fast-Tracked | <input type="checkbox"/> N <input type="checkbox"/> Y | Completed on Budget If no, amount of change orders | <input type="checkbox"/> Y |
|------------------------|-----------------------|--------------------------------|--------------------------------|--|---|----------------------------|

Rogers Aquatic Center

| | | | | | | |
|--------------------------|-----------------------|---------------------------------|--------------------------------|--|---|----------------------------|
| Start Date April 2012 | End Date June 2013 | Length of Contract 14 Months | Time Extension Fast-Tracked | <input type="checkbox"/> N <input type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input type="checkbox"/> Y |
|--------------------------|-----------------------|---------------------------------|--------------------------------|--|---|----------------------------|

Schlitterbahn

| | | | | | | |
|------------------------|-----------------------|--------------------------------|--------------------------------|--|---|----------------------------|
| Start Date Oct 2008 | End Date June 2009 | Length of Contract 8 Months | Time Extension Fast-Tracked | <input type="checkbox"/> N <input type="checkbox"/> N | Completed on Budget If no, amount of change orders | <input type="checkbox"/> Y |
|------------------------|-----------------------|--------------------------------|--------------------------------|--|---|----------------------------|

Lunacon's Design Build methodology follows our policy to subscribe to an open book approach and the fundamental principles of honesty, fairness and lawfulness. Lunacon's open approach to design build has the following inherent advantages:

- Efficiency
- Singularity of responsibility
- Economy
- Timeliness
- Quality

Our Design Build methodology provides the Client with controllable risk as it pertains to project cost, occupancy date and quality of the finished product.

Design Build Methodology Phase One: Conceptual / Schematic Design and Budgeting

Phase One is typically an integrated process where Lunacon's Estimating and Scheduling Team



works in tandem with the Design Professionals (Architects, Engineers and Project Consultants) to develop a conceptual / schematic design, design criteria and project programming in order to established all of the Clients' and project requirements. During Phase One the Design Build team explores alternatives and/or options for the project components, we develop the definition of scope, cost and schedule criteria. All aspects of this phase are reviewed and approved for strict adherence with the Clients' needs and the project requirements.

However, with the City's architect selection of Bermello Ajamil & Partners, Phase one efforts have already been completed based on the DCP Package. The Lunacon Team will use this as the basis of designing and improving on the programming that has been completed by DCP. Alternate approaches are developed to ensure the Owner's intent, financial and schedule requirements are adequately served without compromise to quality. Lunacon Design Build Methodology integrates the following functions to ensure the total success of the project:

Option Analysis:

Value is a measure of “cost effectiveness”. It is the relationship between functional needs and the cost to meet those needs, delivered at the highest possible level of functional performance. At Lunacon we are advocates that failure to develop alternate solutions for the design problem has a tendency to invariably cause unnecessary costs, which Lunacon eliminates by promoting the development of alternate ideas in order to make successful choices based on analyzed economics and performance.

Option analysis is a construction management/design decision process that starts at the onset of project programming. Lunacon’s personnel resources comprise degreed and licensed architects and engineers with vast understanding and practical experience of the design development and construction documentation process that together with Lunacon construction staffs are essential to a well rounded analysis of the options at hand. Lunacon’s personnel expertise in design and construction is greatly enhanced by the team’s experience and knowledge of strategic planning, estimating /cost control and scheduling.



Lunacon analyzes each building system individually as well as a component of the building; we look at key questions,

1. What must it do?
2. What else will do that?
3. What’s best?
4. Does it satisfy the client’s needs?

Parallel to answering those questions, we look at all the factors involved,

- Design aesthetics-quality
- Initial cost-maintenance/life cycle cost
- Time schedule-procurement availability
- Flexibility-constructability

Selecting the “best” option involves evaluating all the costs and benefits of each option. In seeking this balance between functional performance “benefits” and costs, the overall cost of each option is considered, in addition to the initial implementation cost, other “life-cycle” costs including the cost of operation, maintenance, overhaul/replacement and even ultimate disposal are considered. Non-financial “costs” and benefits like schedule delays or reduced risk are identified and evaluated. Human factors such as user acceptance are considered as well.

Option analysis gives way to a creative process of researching, analyzing and developing alternatives with the endeavor of offering the City of Miami Springs the most cost efficient and effective, quality end product. Lunacon sees each reason for poor value as an opportunity for



improved decision making and the best scenario to reap the benefits of analyzing all the possible options at hand regarding all building components and systems.

Budget Estimating

Budget estimates are prepared throughout the initial planning and conceptual phase of the

design, taking in consideration the project size and its complexity as it relates to the logistics and the constructability of the project. Design Criteria and Code requirements are also accounted in their entirety in the initial budget estimate. While the project is in its planning and conceptual phase, budget estimates are prepared based on Lunacon’s vast historical database and estimating expertise. The initial budget estimates are also evaluated against program, site, schedule and current market conditions. In addition all assumptions taken at this stage of design are listed by Lunacon in the budget statement to reduce the possibility that these assumptions may be lost when communicating, using and revising the budget estimate. The initial construction budget represents the project’s preliminary design. It sets the frame work within which some of the design decisions will be made. The budget estimate is the tool that provides the project team with the opportunity to fully evaluate the required scope, the level of quality, the time and the costs, including the analysis of cost tradeoffs.

Lunacon’s detailed cost estimates are valuable tools at the schematic design phase when many of the most important cost decisions are made. By Lunacon performing detailed cost estimates at the early stages of design allows for the Architect and Engineer to consider and evaluate

multiple options, thus assuring the Client that cost effective options have been selected, without compromising value.

Lunacon's evaluation of cost effectiveness of design decisions is a continuing budget estimating process that extends throughout the entire design and construction phases of the project. Lunacon provides detailed cost estimates at the schematic design phase as the means to document and monitor all design decisions and their impact on cost. This provides the Client and all the project team members with the information to buy off what are the long lead items components of the project at the design stages, thus creating procurement and manufacturing time savings at the early stages of design. Lunacon believes that by monitoring detailed changes of specific changes there are no surprises when cost estimates are periodically updated. In this way, the team members

work together toward a series of smaller, more detailed goals to avoid pitfalls of nonconformance with project budget, redesign, schedule and revenues. Lunacon's time investment in detailed cost estimating saves the Owner time and money by minimizing redesign, something that, when necessary, has always



created Client dissatisfaction. Lunacon's discipline in cost estimating allows to avoid cost overruns during the design phase, where line items are exceeding budgeted cost, Lunacon will study the options at hand through the process of value engineering in tandem with the Architect and Engineer, in order to bring the specific line item within the budgeted cost parameters. Lunacon is committed to meeting budget parameters without sacrificing program integrity, quality and function.

Design Review

Lunacon's culture is partnering. During the design phase Lunacon will work with the architects and engineers in analyzing and developing the design as it relates to, value, quality, cost, function, time and constructability. As Design Builders our team has the capabilities, education and expertise to assist the architect and engineers of record in:

- Coordination of the Architect and Engineer's work including existing conditions.
- Based on the design reviews Lunacon will recommend cost and time savings incentive programs.
- Lunacon will coordinate consultants with subcontractors, required testing labs, and governing agencies.
- Lunacon will offer value engineering recommendations and constructability analysis.
- Lunacon will prepare budget estimates through out the design development process and detailed estimates through out the construction document phase.
- Lunacon will coordinate and secure permits design review.
- Lunacon will schedule all design activities and assign milestones to all different phase and design as well as required review and approvals.



Value Engineering

Lunacon uses its value engineering techniques to achieve a number of objectives, to improve the design, quality, reliability, facility performance and maintainability, to reduce time and cost and to improve performance. Lunacon asserts that Value Engineering can also make contributions to improve human factors, such as attitudes, creativity and teamwork. The success of Lunacon VE methodology is solely based on teamwork, wherein, the VE

recommendations are made by multidisciplinary teams representing all components of the Lunacon Construction Management team, inclusive of the Owner, the Architects, Engineers, and Specialty Consultants as well as the Subcontractors and Manufacturers. VE starts at the conceptual phase of design with established VE workshops and where all Construction Management team, including the project team (the Owner and the A/E of Record) components are participants in these workshops. Lunacon VE analysis is executed prior to approval by the Owner of the design and the building systems.

Lunacon VE approach is to optimize both cost and performance for the facility and to eliminate items that add costs without contributing to the program requirements and/or required levels of facility and building systems performance, while at the same time maximizing function, cost and worth in design. As part of the VE value analysis Lunacon value engineering methodology is divided into phases.

- The information phase gathers and tabulates information concerning the facility's design and program requirements. It is used to understand the specific use or function requirements of the VE item under consideration.
- The analysis phase evaluates critiques and ranks feasible alternatives. An estimated dollar value is applied to all possible alternatives and a determination made of the alternatives that offer greatest potential for equal cost and worth.
- The development phase selects only the best alternatives and develops firm information and cost estimates of those alternatives.
- The implementation phase provides assistance by planning the incorporation of the selected alternatives into the Project and the Project Schedule in order to avoid time delays.

Lunacon is committed to give our Clients maximum value for their money, our value engineering techniques are used to achieve a number of objectives, to save money, reduce time, and improve quality, reliability, maintainability and performance. Lunacon uses VE to extend the use of financial, manpower and material resources by eliminating unnecessary or excessive costs without sacrificing quality and/or performance. Lunacon value engineering methodology is based on the expert analysis of options in order to obtain maximum value for each expenditure. Lunacon sees value as a measure of cost effectiveness; therefore, we establish the relationship between functional need and the cost to meet that need. We look at value as the ability to deliver the maximum level of functional performance. Lunacon value engineering approach is to optimize both, cost and performance of the building and to limit items that add cost without contributing to the required levels of function, systems performance and quality, while at the same time maximizing the worth of the cost. This is partly achieved by assigning value to function and measuring the combined net worth, established by Lunacon cost / worth model. The model allows a tangible visualization of how the cost is distributed by the function, its hierarchy and its worth individually and as a whole. Value engineering is the tool used to calibrate cost and worth, so that the cost does not exceed the worth. At Lunacon we interpret the relationship of cost, value and worth as Value = Function + Quality / Cost.

Where:

- Function = The specific work that a design/element/system must perform.
- Quality = The Owner's and/or User's requirements, needs, desires and expectations.
- Cost = The life cycle cost of the product/building.

Therefore:

- Value = The most cost-effective way to reliably accomplish a function that meets the Owner's / User's requirements, needs, desires and expectations.

Lunacon Construction Management approach brings the design team and the construction management team together, into the analysis and consideration of all value-engineering options. We believe that lack of communication and coordination are principal reasons for unnecessary costs.

Constructability Analysis

The Design Build delivery method lies in a design team and a construction team working in unison to produce a finished constructed product. The integration of construction aspects like cost, estimating, cost control, scheduling, quality control and constructability analysis into the design phase provides the platform for total quality project management. Lunacon is committed to working in tandem with the A/E in order to together analyze all the constructability aspects of the project at the planning and design phases, from programming, conceptual phase, through design development all the way to construction documentation, in order to use efficient constructability as a cost, time and quality control tool. By the careful analysis of the constructability of the integration of all building components and systems, Lunacon ensures the Owner with minimal construction problems that will control time and avoid costly delays and above all it will safeguard the Quality of the Project. Lunacon most valuable contributing asset during the design stages is the transfer of construction means and methods knowledge to the A/E. This input will be provided by the overall construction project team.



Lunacon will review the design and documentation in order to offer the A/E with the insight of the actual building methods and techniques that will be executed at the project site, thus creating a project that has conceptually been built by the designers and construction management team and that the construction will be executed in the ways that the different areas of details were analyzed during the constructability analysis. Having the specialty contractors' input into the design and its constructability, offers the Design Build team, the Architects and Engineers the opportunity to create a better, more cost effective product prior to the completion of the design. If constructability issues arise during the design phase, it is then when the Construction Manager expertise and experience offers insight into alternative

ways that will assure constructability and quality while controlling cost and time. This provides the Design Build team with the ability to avoid constructability changes after the design is completed and in the worst case scenario during the process of construction. This cuts the construction learning curb for the project as it translates in cost and time savings, while ensuring quality of the product.



Lunacon Design Build partnering approach offers the Owner and the A/E an insight into the construction process and the ability to be a hands-

on part of the elaborate construction planning strategy, therefore adding valuable construction knowledge to the design process. Having factual information of construction means and methods shortens both the research period involved in design development and the production of construction documents and at the same time ensuring the constructability of the Project. The benefits are reaped during the construction process by decreasing the constructability analysis phase and learning curve of the construction phase for the Design Build team and the Subcontractors. The early on constructability analysis of the design provides the team with the ability to create synergy, which will eventually give them cohesion and the capability to produce a constructible design and a quality finished Project.

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Design Build Methodology Phase Two: Detailed Design and Construction

During phase two, Lunacon Design Build Team will established the scope of work and construction documents in sufficient detail to provide you with a lump sum price and the project schedule. During phase two, the Design Build Team will produced all construction and permit documents required for regulatory agency approval, in order to successfully commenced the construction phase of the project. During phase two we implement the following design build methodology:

Cost Control

Lunacon methodology for cost control allows us to detect cost overruns promptly by making frequent comparisons between actual and budgeted expenses of production during the design and construction phases. In addition, the actual costs are determined in sufficient detail to enable the project management team to locate the problem area should cost overruns occur.

During the project's construction, cost accounting methods are applied to obtain the actual production rates and costs as they occur. Lunacon cost accounting involves the continuous determination of productivity and cost data, the analysis of this information, and the presentation of the results in summary form. These summary reports are prepared periodically that are especially designed to identify



work areas where costs are exceeding the budget. Lunacon cost control system immediately identifies for the project manager where production costs are unsatisfactory and management action is needed. Timely information is essential if effective action against cost overruns needs to be taken. Through Lunacon costs reports, we can forecast trouble spots, before cost overruns funds are committed in order to determine the appropriate corrective action to deterred costs overruns. Lunacon cost control approach is to be proactive in identifying trouble spots and taking action.

In addition to maintaining a continuous check on production costs for cost-control purposes, the project cost system yields valuable information needed for the estimating of future construction work. Average production rates and unit costs are obtained from our completed projects and maintained in our electronic cost historical data bank. These records of past experience are an invaluable resource to Lunacon estimating department as well as our Clients, when initial budget estimates are developed at the conceptual phase of the project

Lunacon cost control and estimating systems divides all projects costs into work classification or work types. These classifications are used throughout Lunacon cost system. Each work type is assigned a permanent cost code number which is consistently used for all projects and by all personnel. Lunacon project cost code system is used for project estimating, general financial accounting and field cost accounting. The fact that historical job cost can be associated with specific projects makes them more beneficial; this enables Lunacon to associate production rates and costs with specific project circumstances and conditions.

Lunacon project cost accounting system supplements field supervision. In the final analysis the best cost control mechanism that Lunacon has is our skilled and experienced project management and field administrative staff. Lunacon field project managers and superintendents implement Lunacon cost control methodology from the start of their project

Both Carty & Alleguez Architecture will be equally responsible for the project. The firm Principals will remain available throughout all phases of the project and Staff assigned to the project will be consistent. We understand that this project is unique and complex, therefore, the key response to project complexity is flexibility. We understand budget constraint and have worked closely with the GC to prioritize needs established by the Design Criteria Professional. Upon award, the DB team will verify priorities with the City so that construction documents can be finalized and submitted for permit.

The Carty Alleguez team recognizes that phasing and sequencing is a primary challenge when working on a facility that will need to remain fully operational in order to minimize impact to daily schedules. Coordination of circulation, operations, and support spaces is paramount to maintain a safe environment.

SITE

The proposed design incorporates all components of the Criteria established by the Design Criteria Professional. In an effort to support the continuous operation of the existing pool, the main entry and administrative office spaces along with the Reception / Multi-Purpose Building have been located on the east side of the site. The buildings will also serve to buffer the noise from the pool for the adjacent residents. The pedestrian connection to the existing Community Center is at mid-point of the site running north and south; the new pool entrance will allow vehicles to disburse evenly throughout the parking area avoiding congestion.

AESTHETICS

The new facility layout and design showcases simplicity and efficiency while relating to the Moorish architecture that meshes with the existing Community Center's characteristics. The entry feature is inviting and enhanced by abundant natural lighting and cross ventilation. Building elevations reflect Moorish elements such as the tall corner elements matching those on the Community Center and stucco reveals emulating deconstructed arches.

FACILITY

The Restroom / Lockers and Pool Equipment Building are located on the north side of the property and a service area for catering is provided for easy access from the north as well. Restrooms include showers. The pool location maximizes the south and western exposure. Playground and concessions flank the cabanas so that these are easily accessible and visible by the pool users. Landscape buffers are being provided along the entire facility enhancing the residential streets.

POOL

The Activity Pool design being presented by the Lunacon Team provides both maximum recreation with a competitive element. The pool has been reconfigured from the proposed design criteria pool to enhance the usability and flexibility of the hybrid pool for all users. The design criteria requirements have been met and the reconfiguration allows us to introduce 6 lanes for lap swimming, an additional 2 from the criteria package. The splashdown area for the slide has been moved to be contiguous to the zero entry area of the pool so as to allow greater separation of the

lap pool, thus increasing use for concurrent activities. The leisure portion of the pool consist of a zero entry with an adjoining sunning shelf allowing swimmers to place lounge chairs in approx. 6 inches of water. As the swimmers slowly descend they will enjoy the multiple play features provided for multiple age groups. Features include a Water Windmill, Spinning Tray and Pool & Falls that will keep recreational swimmers entertained while the competitive swimmers can swim laps in the 25 yard lap pool. Also included is a splashdown area for an optional water slide. This can also be utilized for recreation and/or exercise. Pool depths range from 0'-0" to 5'-0".

The pool water treatment system will utilize a 2 ½ hour turnover with a tile gutter overflow system and returned water via floor and wall inlets. A high rate sand filtrations system will filter the water while sodium hypochlorite (bleach) with control the chlorine and muriatic acid will maintain pH. An automatic chemical controller will monitor and does the pool while an automatic water level controller will maintain optimum water level. The pool will be heated to help maintain water temp during those chilly spring and fall mornings.

FINISHES

Finish selections are based on many factors including safety, cost/budget, durability of finishes and aesthetics. Our team's goal is to meet the criteria provided but also help the City meet their needs and preferences. Properly selected aquatic facility finishes are an important investment in the overall facility, particularly since this is a Community environment. Additionally, appropriate selection of finishes helps maximize the safety of the personnel, prevents injuries and reduces accidents. Our goal is to provide the most value for your cost.

LANDSCAPING

For the *Miami Springs Aquatic Center* the landscape intent is to utilize a variety of plants to create visual interest with texture and color while at the same time minimizing the amount of maintenance required. The landscape concept was developed primarily to provide shade to the pedestrian and vehicular areas as well as to provide points of interest, whether viewing the landscape from the pool area or approaching it by foot or vehicle. As required by the criteria, we have provided 20' tall Live Oak trees in the parking lot area and as perimeter planting. We're also providing smaller accent trees along with a variety of palms trees along the building façade. Also as called for in the criteria, we are providing for 26' tall Sylvester Palms within the pool deck area. To further enhance the landscape, we are calling for a diverse group of shrubs to accent the building and to act as a buffer where needed. All of the proposed plant material is in accordance with the City of Miami Springs landscape code. Lastly, we are relocating the two existing specimen Traveler trees currently on-site, relocating several Pigeon Plum trees, as well as, keeping several existing Pink Trumpet trees at their current location and adding to the existing scheme.

The irrigation design will consist of a 100% head to head coverage, fully automatic underground system. The system will be fitted with a rain sensor that will shut the system off in the event of rain. The spray heads will be Toro MPR 570 (or Rainbird equivalent), while the rotors (for sodded areas) will be the Toro T5 series (or Rainbird equivalent). In addition, we will provide flood

bubblers at the base of each tree and palm. The heads in the sod and shrub/groundcover areas will be zoned separately from the bubblers. The heads in the sod areas will be further separated into their own circuit since sod areas demand more watering than shrub/groundcover areas. The water source for this project is yet to be determined.

As we finalize the construction documents our team will work together, coordinate work, and review the project for consistency with the City of Miami Springs standards and quality assurance. Although a design build delivery method, as the project enters construction, the Carty Alleguez Team believes that construction supervision is one of the most critical phases of the project, because it's during this phase that this project will ultimately become a success. Our team will review the submittals drawings to make certain that the project is in accordance with the City's expectations and construction documents. The key to our approach on a Design Build Project is responsiveness and a team approach. Our Design Build Team will provide a quick turn around on all City related issues and the Carty Alleguez Team will assist with keeping the project on track and making sure that the project is built according to the permitted drawings. Our team will work with the project manager and key architectural and engineering staffs responsible for the design criteria package. The Carty Alleguez Team takes a tenacious approach to construction supervision.

Clear communication is a key component for a successful project. Open communication with all parties is implemented from day one. Our team approach; where the Design Builder, the City, and the Community work together will ensure successful delivery of a project that we can all be proud of.

LUNACON' scheduling approach is to create a concrete picture of what the project looks like, document the layout of the project's goals and to keep the project team members accountable for the planned daily activities and the required productivity rates. Scheduling is LUNACON'S major tool in planning and communication.

synchronizes everyone's efforts

provides forced attention on a common goal

provides invaluable information and insight into controlling construction planning, strategy and operations.

LUNACON'S schedule, and also LUNACON utilizes the most advanced scheduling system in order to map out and follow our projects from the onset of planning and design all the way to the punch list period, included also is the warranty and maintenance period as well as the project close-out. We use Primavera Project Planner, P6. LUNACON CPM Schedule contains all required detail tasks or activities in Precedence format to fully describe the planning and execution of the project, at a detailed level, in order to fully control the time parameters of the project.

Planning is the first step taken by LUNACON in the process of construction time control. Planning establishes the basis for the detailed study of the project's requirements, what is to be done, how it is to be done, and the order in which it will proceed. The planning function is accomplished by dividing the project into all of the activities required to complete the project. The project's activities are derived at by the analysis and understanding of the project scope and details. When all of the activities have been defined the interdependence of these activities is analyzed in order to develop the sequence and linking of activities which need to be properly connected in order to successfully create the network of activities.

The network diagram will graphically illustrate the logical interrelationship and duration of all project activities, which will also be identified as predecessors and successors. A detailed time study of the planning network is conducted in order to adjust the initial as-planned as necessary to meet the project's completion date. The actual development of a CPM (Critical Path Method) Schedule involves a series of judgments and coordination among all project team members. Manpower and construction equipment requirements are evaluated for the individual job activities, with adjustments made to minimize unbalanced or conflicting demands. On the basis of these studies LUNACON establishes a calendar-date schedule of the anticipated start and finish dates for each activity. The result is a schedule, which will be subject to periodic revisions and adjustments as required in order to provide the essential basis for the day-to-day time control of the project through the completion date.

Upon development of the schedule logic by LUNACON Scheduling Expert (s), assigned Project Manager and LUNACON field personnel inclusive of Subcontractors and Suppliers a preliminary schedule is formulated and distributed to all project team members, including Subcontractors. The distribution of the preliminary schedule is followed by a schedule workshop, wherein, all parties involved in the development of the schedule logic and its durations, review each trades involvement, coordination and overlapping with other trades. As a result, the baseline schedule is developed and distributed for final review including Subcontractors. The schedule and the assigned durations for all trades tasks / activities and labor efforts required to complete said tasks / activities will have a signed agreement to the logic and the durations of the schedule by trade. The baseline schedule will be signed off by each trade. The progress of all trades is verified by LUNACON'S General Superintendent and the trades Superintendents assigned to the project. The information collected is also used by LUNACON to produce the schedule updates on a bi-weekly basis. The schedule is a topic of discussion at all Subcontractors meetings. We utilize the CPM schedule as the basis for scheduling and monitoring subcontractors and materials deliveries by the actual date needed at the job site. LUNACON uses the project's CPM schedule to monitor the process of procurement. LUNACON recognizes the significance of meeting the Contract Project duration, as such all required resources needed to meet this contractual commitment are analyzed and included in the resource loading of the Project Schedule.

LUNACON uses resource loading of the schedule as the means to effectively control resources. Loading the labor resources identifies weeks in advanced the exact activities to be performed on a particular day and the number of workers per trade that are required for each specific activity. By the submitted Subcontractor's two weeks look ahead LUNACON has an effective way to measure the progress of the Subcontractor's performance. LUNACON controls the Project resources, labor hours, bulk materials, construction equipment and permanent equipment. LUNACON'S control of resources involves, maximizing resources, detailed attention to cost and time, control of waste, pre-planning and attention to efficiency while always

providing a safe environment to work in. The duration for activities incorporated into each LUNACON schedule is derived through analysis of the estimated cost for each activity and the projected Person-Day requirements. An activity duration, which fails to take into consideration labor resources may be inadequate to accomplish the required task. LUNACON uses resource requirements and crew sizes as the basis for deriving the duration for each activity. LUNACON resource loading of project schedules is typically based upon Person-Days, in lieu of Person-Hours. This facilitates comparison of schedule resource graphics and reports to the resource data that is incorporated into each daily report.

Cost loading is the assignment of monies to every scheduled tasks / activities. LUNACON'S schedules are cost loaded, since we understand that the most important resource needed for building is money. Scheduling and controlling the expenditure of funds is critical to the building process. LUNACON uses cost loading of the schedule as an important cost control tool. LUNACON achieves cost control of the Project by cost loading the schedule as follows; distribution of cost by activity, tracking of cost by activity, control of labor productivity and costs, control of materials and supplies costs, control of overhead costs and control of payment funds.

LUNACON will work in tandem with our Design Team towards the 100% completion of the construction documents to ensure the success of the project for the City of Miami Springs. LUNACON'S philosophy of partnering will allow us to develop a project schedule with the input of the Design Team and the Subcontractors. Our goal is to provide The City of Miami Springs with solutions and a tool that allows the overall project team to safeguard the project's completion date.

The Lunacon Team has a proven track record of successfully coordinating design/build projects from the RFP phase through commissioning and closeout. We understand the design/build process and continue to incorporate 'lessons learned' into the process. From day one, we will include all stakeholders (City of Miami Springs, Bermello Ajamil & Partners, the design team and construction team) of the design/build project in project formulation. With program input from the City, our Design Team will work closely with the construction team, considering alternative solutions and systems and discussing potential betterments and cost savings ideas. The approach is typically synergistic and the expectation is that this same cooperative approach will be continued after award to include City representatives. Lunacon's philosophy is *"Plan the WORK and Work the PLAN!"*

This collaborative process between the City and the Design/Build Team will continue throughout the design and construction process. Meetings with all key stakeholders outlined will be held at each milestone in the design process as documents become more comprehensive and complete.



Once the City of Miami Springs accepts the design, the Lunacon Team will incorporate a construction management plan. Our management team is schooled in this system and utilizes the latest construction management and project scheduling technology, to effectively control and manage the entire construction process. At the start of the design

phase, our team will expand upon the attached construction schedule with input from key trade contractors to establish specific start and finish dates and identify long lead items. At this point, the preliminary schedule has evolved into a logical plan of action, which will allow the team to facilitate the timely completion of the project.

The Lunacon Team is aware of the importance of the project schedule and strives to continuously meet or improve the schedule. At the beginning of the project, the Team will review the project schedule with the City, and will identify important milestone dates and discuss any issues that may create challenges to accomplishing the overall schedule. We use our experience to advise the City, and identify where necessary, alternative design and construction approaches to establish a schedule that is realistic and achievable.

Excellent communication is key to staying on schedule. The Lunacon Team will communicate openly with the City and document all discussions, so that everyone remains informed throughout the planning and design process.

The potential impact on the schedule of all decisions made during the design process will be clearly communicated to the entire team, so that we can respond in an informed, intelligent and timely manner.

Lunacon, Carty and Alleguez have extensive experience designing and building facilities similar to the proposed Aquatics Facility. We have assembled a team of highly qualified professionals to implement and manage the design/build process. Our Team is committed to delivering a project that will be considered a success for all.

The construction schedule, as shown on the enclosed Proposed Summary Schedule, indicates an overall contract duration of 460 calendar days from NTP [26 January 2015] to Completion [April 2016]. The Team is familiar and experienced with ‘fast-track design’ and construction and we are prepared to utilize this method on your project in response to the City’s need for getting the facility on-line as quickly as possible..

Phase I of the project will be delivered by December 2015 which includes the pool startup and testing. Phase II will be completed by April 2016.

NOTE: The new pool will be operational while Phase II demolition and parking area is being completed.

Lunacon utilizes Primavera (P6) Scheduling Software to plan, schedule and monitor the design and construction phases of the project. Lunacon will include all pre-construction, construction and post-construction phases of the project in the schedule monitoring all deliverables activities. These phases will identify Design Deliverables by our design team, Owner required deliverables, Permitting milestones and Procurement Milestones. The detailed schedule will identify phasing and sequence with appropriate durations, for all construction activities including inspections leading to substantial completion of the project.

Our team will provide an updated design and construction schedule on a monthly basis. The Project Manager will ensure that the City, subcontractors and consultants are provided with the updated schedules and weekly work plans to ensure a pro-active approach to near term requirements, long lead items, and proper coordination among trades.

Our team has reviewed the design and feels that the project can be built in two phases which will keep the existing pool operational to minimize downtime so that the City, Residents and various teams can still use the facility while the new pool is completed. This will allow for the major portions of work to be completed and potentially open the new pool while the existing pool facility is being demolished and the parking lot completed.

Phase I: This phase envelopes the process of setting the site for construction activities, a series of fences will define the construction areas provide direction to the public on how to access the existing facility during construction. Prior to commencing the removal of the existing parking lot, Lunacon will provide an interim entrance and ticketing area away from the construction to allow access for pool activities, the pool and the offices/locker rooms. Lunacon will also secure the site with fencing and establish our trailer location and gate access for construction and deliverables. This phase will also prepare the underground utilities to be stubbed to a location easily accessible during phase II.

Phase II: Upon completion of Phase I, Lunacon will proceed with securing the remainder of the site and commence with the demolition of the existing pool and pool support building. The removal of the existing pool and building will allow this phase to commence. To prepare the area to receive the new parking lot, a series of underground utilities and drains will need to be constructed. The new drainage system and asphalt will be completed.



* *h e following hreliminary Project Schedule for the Miami Springs Aquatic Facility Project*

| Activity ID | Activity Description | Days | Early Start | Early Finish | 2015 | | | | | | | | | | | | 2016 | | | | | |
|-----------------------------------|--|------|-------------|--------------|------|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|-----|------|-----|-----|-----|-----|--|
| | | | | | J | FEB | MAR | APR | MAY | JUN | JUL | AUG | SEP | OCT | NOV | DEC | JAN | FEB | MAR | APR | MAY | |
| Design / Permits | | | | | | | | | | | | | | | | | | | | | | |
| 1000 | Notice to Proceed | 1 | 26JAN15* | 26JAN15 | | | | | | | | | | | | | | | | | | |
| 1005 | Kick-Off Meeting / City Design Comments | 2 | 28JAN15 | 29JAN15 | | | | | | | | | | | | | | | | | | |
| 1010 | Construction Documents (95%) | 21 | 30JAN15 | 27FEB15 | | | | | | | | | | | | | | | | | | |
| 1015 | Design Review by City | 5 | 02MAR15 | 06MAR15 | | | | | | | | | | | | | | | | | | |
| 1020 | Construction Documents Revisions | 5 | 09MAR15 | 13MAR15 | | | | | | | | | | | | | | | | | | |
| 1050 | Obtain Utility / Foundation Permits | 30 | 16MAR15 | 24APR15 | | | | | | | | | | | | | | | | | | |
| 1055 | Obtain Final Building Permit | 80 | 16MAR15 | 03JUL15 | | | | | | | | | | | | | | | | | | |
| Procurement | | | | | | | | | | | | | | | | | | | | | | |
| 1075 | Shop Dwgs, Review, Fab - Pre-cast | 85 | 23MAR15 | 17JUL15 | | | | | | | | | | | | | | | | | | |
| 1080 | Shop Dwgs, Review, Fab - Pool Equipment | 75 | 23MAR15 | 03JUL15 | | | | | | | | | | | | | | | | | | |
| Phase 1 | | | | | | | | | | | | | | | | | | | | | | |
| Site Prep / Utilities | | | | | | | | | | | | | | | | | | | | | | |
| 1100 | Mobilization | 10 | 13APR15 | 24APR15 | | | | | | | | | | | | | | | | | | |
| 1105 | Site Demolition | 10 | 27APR15 | 08MAY15 | | | | | | | | | | | | | | | | | | |
| 1110 | Excavation / Backfill | 15 | 04MAY15 | 22MAY15 | | | | | | | | | | | | | | | | | | |
| 1115 | Site Utilities | 25 | 27APR15 | 29MAY15 | | | | | | | | | | | | | | | | | | |
| Pool / Cabanas / Pool Deck | | | | | | | | | | | | | | | | | | | | | | |
| 1150 | Pool Excavation / De-Watering | 10 | 06JUL15 | 17JUL15 | | | | | | | | | | | | | | | | | | |
| 1155 | Underground Plumbing | 10 | 20JUL15 | 31JUL15 | | | | | | | | | | | | | | | | | | |
| 1160 | Pool Concrete | 40 | 03AUG15 | 25SEP15 | | | | | | | | | | | | | | | | | | |
| 1165 | Pool Tile / Plaster / Paint | 30 | 28SEP15 | 06NOV15 | | | | | | | | | | | | | | | | | | |
| 1175 | Cabana Foundations | 15 | 13JUL15 | 31JUL15 | | | | | | | | | | | | | | | | | | |
| 1180 | Erect Cabanas | 20 | 14SEP15 | 09OCT15 | | | | | | | | | | | | | | | | | | |
| 1200 | Pool Deck | 20 | 28SEP15 | 23OCT15 | | | | | | | | | | | | | | | | | | |
| 1205 | Pool Furniture & Furnishings | 10 | 26OCT15 | 06NOV15 | | | | | | | | | | | | | | | | | | |
| Bathroom Building | | | | | | | | | | | | | | | | | | | | | | |
| 1300 | Foundations | 10 | 25MAY15 | 05JUN15 | | | | | | | | | | | | | | | | | | |
| 1305 | Underslab Plumbing | 5 | 08JUN15 | 12JUN15 | | | | | | | | | | | | | | | | | | |
| 1310 | Prep & Pour S.O.G. | 5 | 15JUN15 | 19JUN15 | | | | | | | | | | | | | | | | | | |
| 1315 | Masonry | 20 | 06JUL15 | 31JUL15 | | | | | | | | | | | | | | | | | | |
| 1320 | Erect Columns, Beams & Precast | 10 | 03AUG15 | 14AUG15 | | | | | | | | | | | | | | | | | | |
| 1325 | Roofing System | 10 | 17AUG15 | 28AUG15 | | | | | | | | | | | | | | | | | | |
| 1330 | Exterior Stucco | 20 | 17AUG15 | 11SEP15 | | | | | | | | | | | | | | | | | | |
| 1335 | Exterior Windows, Louvers, Doors & Grilles | 10 | 07SEP15 | 18SEP15 | | | | | | | | | | | | | | | | | | |
| 1340 | MEP Rough-In & Equipment | 25 | 17AUG15 | 18SEP15 | | | | | | | | | | | | | | | | | | |
| 1345 | Install Pool Equipment | 30 | 31AUG15 | 09OCT15 | | | | | | | | | | | | | | | | | | |
| 1350 | Interior Finishes / Fixtures | 25 | 07SEP15 | 09OCT15 | | | | | | | | | | | | | | | | | | |
| Multi-Purpose Building | | | | | | | | | | | | | | | | | | | | | | |
| 1400 | Foundations | 15 | 08JUN15 | 26JUN15 | | | | | | | | | | | | | | | | | | |
| 1405 | Underslab Plumbing | 5 | 29JUN15 | 03JUL15 | | | | | | | | | | | | | | | | | | |
| 1410 | Prep & Pour S.O.G. | 5 | 06JUL15 | 10JUL15 | | | | | | | | | | | | | | | | | | |
| 1415 | Masonry | 25 | 27JUL15 | 28AUG15 | | | | | | | | | | | | | | | | | | |
| 1420 | Erect Columns, Beams & Precast | 15 | 31AUG15 | 18SEP15 | | | | | | | | | | | | | | | | | | |
| 1425 | Roofing System | 10 | 21SEP15 | 02OCT15 | | | | | | | | | | | | | | | | | | |
| 1430 | Exterior Stucco | 25 | 21SEP15 | 23OCT15 | | | | | | | | | | | | | | | | | | |
| 1435 | Exterior Windows, Louvers, Doors & Grilles | 15 | 19OCT15 | 06NOV15 | | | | | | | | | | | | | | | | | | |
| 1440 | MEP Rough-In & Equipment | 30 | 21SEP15 | 30OCT15 | | | | | | | | | | | | | | | | | | |
| 1450 | Interior Finishes / Fixtures | 30 | 12OCT15 | 20NOV15 | | | | | | | | | | | | | | | | | | |
| Office Building | | | | | | | | | | | | | | | | | | | | | | |
| 1500 | Foundations | 10 | 29JUN15 | 10JUL15 | | | | | | | | | | | | | | | | | | |
| 1505 | Underslab Plumbing | 5 | 13JUL15 | 17JUL15 | | | | | | | | | | | | | | | | | | |
| 1510 | Prep & Pour S.O.G. | 5 | 20JUL15 | 24JUL15 | | | | | | | | | | | | | | | | | | |



Lunacon Construction Group
 Miami Springs Aquatic Center
 Preliminary Schedule 4 December 2014



Lunacon Construction has identified preliminary logistics issues and formulated a plan as to how we would address any concerns regarding construction and the surrounding neighbors. We have attempted to address all the major concerns raised in the meeting. Our intent is to coordinate any and all efforts with the City of Miami Springs, Community Center and the neighbors, so that operations can continue as normally as possible.

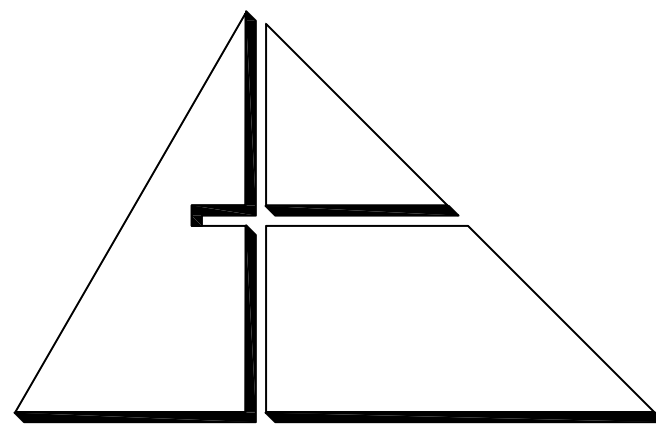
Based on Lunacon's experience gained during construction of projects with multiple phases and tight site constraints, we recognize the critical role of close coordination with the City of Miami Springs, City Staff and Residents. Lunacon's approach will be to fast track the completion and occupancy of the new Pool complex to allow it to become functional so as to minimize the down time of the existing pool facility. This will reduce the quantity and duration of down time and improve the overall experience. Our **number one** concern in producing these plans is the **Safety of the STAFF and PUBLIC!** This plan will allow for efficient and productive construction operations, given the constraints of working in a functioning facility environment.

Our team will work closely with the staff to obtain their input, ensuring that all parties are in agreement so that all can enforce these requirements. Lunacon has had similar site logistics that have been critical in projects such as USPS Snapper Creek Addition, Metro Zoo Children's Zoo Wacky Barn, Fort Lauderdale International Airport Utility Building to name a few, where we were required to build within close proximity of the existing facilities. The construction of these facilities was completed without any lost time accidents for construction personnel or incidents involving the public.

Lunacon recognizes the need to minimize the amount of interruption that occurs during construction. Our construction trailer and parking area has been carefully selected on the NE corner of the site during phase I of construction. We have also tried to locate the access gates so as to minimize and traffic flow issues.

The project team understands the sensitivity of the site. The construction fence isolating construction activities will include a mesh barrier that will prevent construction dust and runoff onto the existing streets as well as other SWPPP standards.

Please see the following pages for a graphical representation of Lunacon Construction's proposed phasing plan for Miami Springs Aquatic Facility.



ALLEGUEZ

ARCHITECTURE, INC.

ARCHITECTURE PLANNING
INTERIOR DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 461 4001 (FAX) 461 6002
E-MAIL: allegru@bellsouth.net

AA 2600052

CartyArchitecture

2655 S LE JEUNE ROAD, SUITE 400
CORAL GABLES, FLORIDA 33134
(786) 536-7555
GENERAL CONTRACTOR

LUNACON
CONSTRUCTION GROUP
16599 SOUTH DIKE HIGHWAY
MIAMI, FLORIDA 33157
(786) 293-0035 FAX: (786) 293-0333
CONSULTANTS:

CAPRI POOLS & AQUATICS

22 GATEWAY COMMERCE CENTER DRIVE W
EDWARDSVILLE, IL 62025
(314) 351-6020 FAX: (314) 351-0033
CONSULTANTS:

CIVIL ENGINEER

CHEN MOORE

155 SOUTH MIAMI AVENUE, PENTHOUSE II-A
MIAMI, FLORIDA 33130
(786) 497-1500 (FAX) 497-2500

STRUCTURAL ENGINEER

BNI ENGINEERS

800 DODGLES ROAD, SUITE 300
CORAL GABLES, FL 33134
TEL: (305) 442-7086 FAX: (305) 932-5291

ELECTRICAL ENGINEER

SDM CONSULTING ENG.

135 ALMEIDA AVENUE
CORAL GABLES, FLORIDA 33134
(305) 446-2788 (FAX) 443-5944

LANDSCAPE ARCHITECT

LAURA LLERENA
AND ASSOCIATES, INC.

13170 SW 128TH STREET, SUITE 207
MIAMI, FLORIDA 33186
(305) 256-1159 (FAX) 256-1155
POOL CONSULTANT:

PROJECT:

DESIGN BUILD FOR
MIAMI SPRINGS
AQUATIC CENTER

PROJECT ADDRESS:
1401 WESTWARD DRIVE
MIAMI SPRINGS, FLORIDA 33166

OWNER:
CITY OF MIAMI SPRINGS
201 WESTWARD DRIVE
MIAMI SPRINGS, FLORIDA 33166

PHONE XXX.XXX.XXXX

DRAWING TITLE:

PHASING PLAN

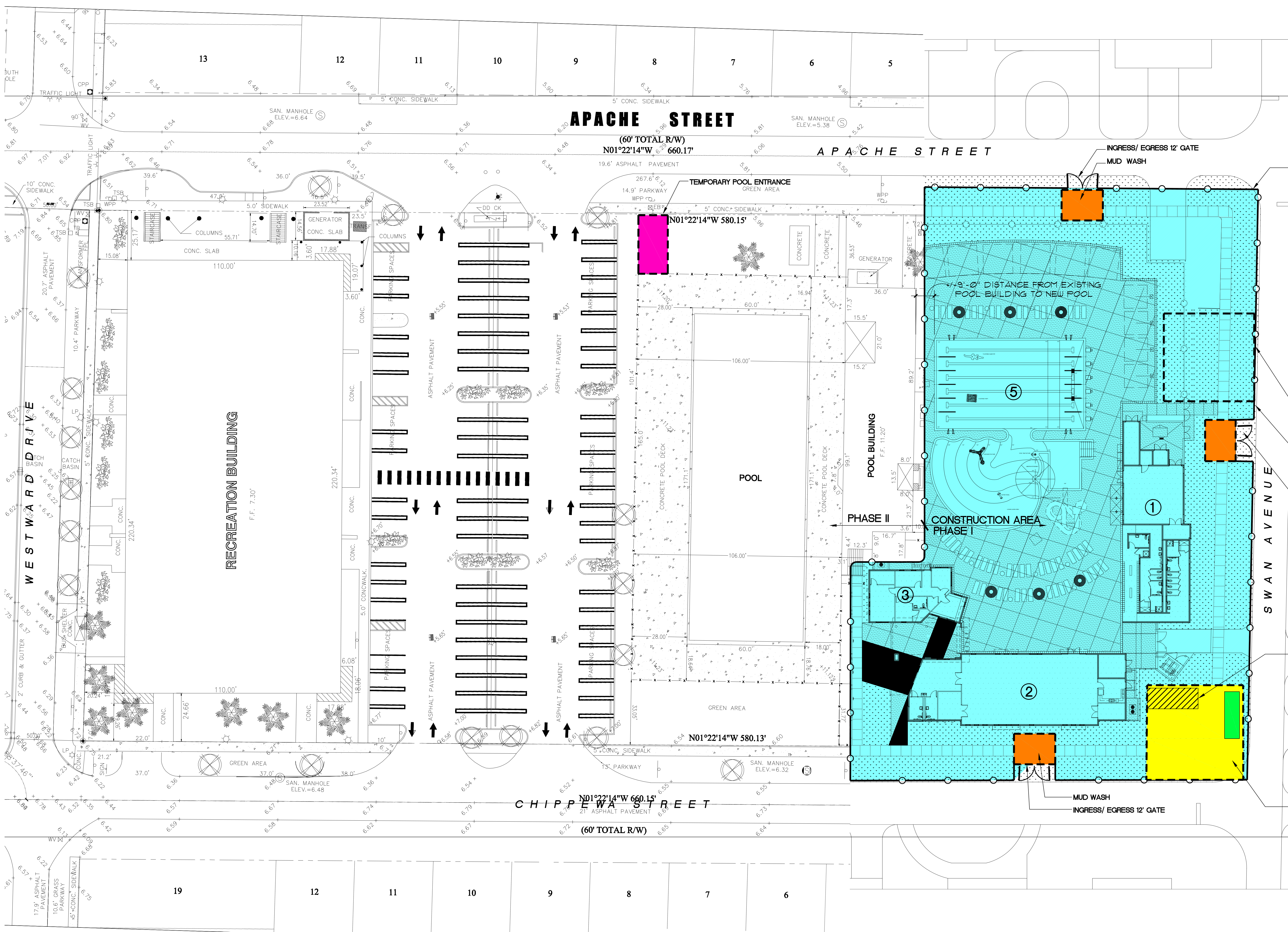
SEAL

DATE:
DECEMBER 4TH 2014

REVISED:

CAD DRAWING NAME:

SHEET NO.



- PHASE 1**
- POOL BATHROOM BLDG
 - OFFICE BLDG
 - MULTI-PURPOSE BLDG
 - POOL

AREA LEGEND

- ① POOL BATHROOM EQUIPMENT BLDG
- ② MULTI-PURPOSE BLDG
- ③ OFFICE BLDG
- ④ CONCESSION
- ⑤ POOL
- ⑥ POOL DECK
- ⑦ PARKING

MATERIAL AREA

SECURITY FENCE AND BARRICADES

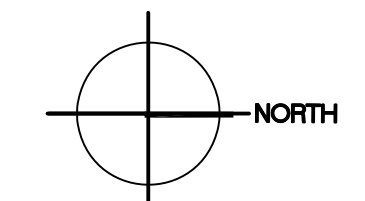
MUD WASH

STORAGE

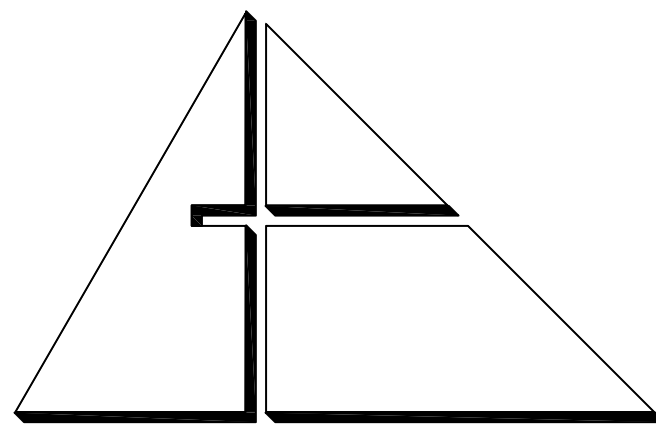
CONSTRUCTION TRAILER AREA + PARKING

LOGISTIC PLAN - PHASE I

1" = 20'



PH-1.0



ALLEGUEZ

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ARCHITECTURE INTERIOR DESIGN
PLANNING DESIGN
CONSTRUCTION MANAGEMENT

901 PONCE DE LEON BLVD., SUITE 202
CORAL GABLES, FLORIDA 33134
(305) 461 4001 (FAX) 461 6002
E-MAIL alleguez@alleouth.net

AA 26000552

CartyArchitecture

2655 S LE JEUNE ROAD, SUITE 400
CORAL GABLES, FLORIDA 33134
(786) 536-7555

GENERAL CONTRACTOR

LUNACON CONSTRUCTION GROUP
16690 SOUTH DIALE HIGHWAY
MIAMI, FLORIDA 33157
(786) 293-0035 FAX: (786) 293-0333

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22 GATEWAY COMMERCE CENTER DRIVE W
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CORAL GABLES, FLORIDA 33134
(305) 446-2788 (FAX) 443-5944

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13170 SW 128TH STREET, SUITE 207
MIAMI, FLORIDA 33186
(305) 256-1199 (FAX) 256-1155

POOL CONSULTANT

PROJECT:

DESIGN BUILD FOR MIAMI SPRINGS AQUATIC CENTER

PROJECT ADDRESS:
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OWNER:
CITY OF MIAMI SPRINGS
201 WESTWARD DRIVE
MIAMI SPRINGS, FLORIDA 33166
PHONE XXX.XXX.XXXX

DRAWING TITLE:

PHASING PLAN

SEAL

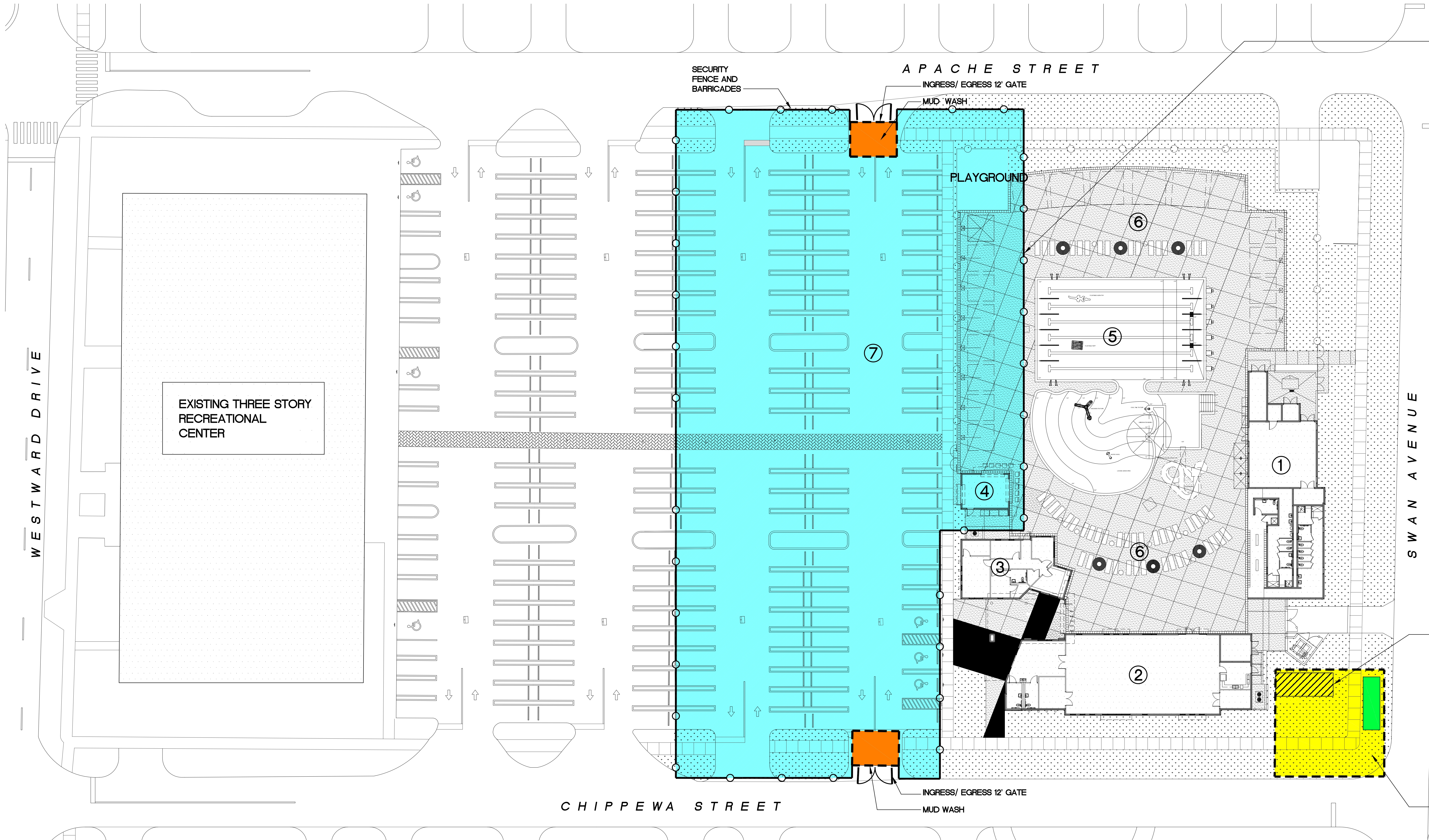
DATE:

DECEMBER 4TH 2014

REVISED

CAD DRAWING NAME:

SHEET NO.



PHASE 2
• DEMOLISH EXISTING POOL AND BATHROOM BUILDING
• CONSTRUCTION OF CONCESSION BUILDING, PARKING LOT, POOL DECK
• LANDSCAPING

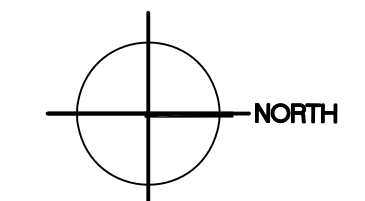
- AREA LEGEND**
- ① POOL BATHROOM EQUIPMENT BLDG
 - ② MULTI-PURPOSE BLDG
 - ③ OFFICE BLDG
 - ④ CONCESSION
 - ⑤ POOL
 - ⑥ POOL DECK
 - ⑦ PARKING

STORAGE

CONSTRUCTION TRAILER AREA + PARKING

LOGISTIC PLAN - PHASE II

1" = 20'



PH-1.1

SAFETY

“SAFETY IS FIRST, PARAMOUNT AND NON-NEGOTIABLE ON ALL LUNACON CONSTRUCTION PROJECTS”- Patricia Bonilla, President/CEO, Lunacon Construction

We are committed to protecting our employees, our business partners/clients, the public, property and the environment from accidental loss at any cost. Providing our employees, subcontractors, and clients with a safe and hazard free workplace is our primary and most important objective on all projects.

Lunacon Construction considers accident prevention as our highest concern on all our projects. Our Safety Program is implemented on all our projects across the country. We not only adhere to state and federal regulations, but create a site-specific safety plan that is developed and implemented on every project. During the pre-construction phase, we will assess the risk for each phase of construction, and develop a plan to assure that these risks are addressed in the site-specific plan which we provide to all bidders during the bidding phase.

Due to the proximity of staff and residents, safety will be a constant focus for our team. Lunacon’s site staff will closely manage and lead all aspects of the construction process to ensure a safe and productive experience for all involved. A key area of focus will be maintaining emergency egress paths through the construction site. Lunacon will fully plan, detail, inspect and enforce these measures to ensure full compliance by all site personnel.

As part of our continued efforts to promote safety on all our projects, Lunacon Construction recently received a very prestigious Certificate of Achievement Award from the Fort Worth District of the U.S. Army Corps of Engineers, for our work on three Child Development Centers at Ft. Bliss, Texas. Lunacon was very proud to receive such an award from an organization that is very discerning about safety.

CONTRACTOR AND STAFF PARKING

We recognize that on-site parking is at a premium and limited. In order to alleviate parking concerns for both the staff and residents in the area, we will utilize part of the existing parking to the North while we start the demolition phase of the existing pool and the west portions of the parking area. To reduce congestion and further promote the safety of the public, Lunacon will discuss with the sub-contractors hours of operations. This will help to minimize the amount of traffic on the residential streets and mitigate the inconvenience of the neighbors.

CONTINUED OPERATION OF THE EXISTING FACILITY

Lunacon understands that the existing Community Center will remain operational throughout the duration of the project and that parking will be limited. The Lunacon staff will also coordinate closely with the staff of the Community Center so as to minimize any impact on potential special events that they may have. We have also looked at a schedule that will

maintain the existing pool in operation while construction of the new pool is on-going to allow minimal down time. See the attached schedule.

COORDINATION WITH OTHER TEAM MEMBERS AND CONTRACTORS

Because of our past experience working on similar projects, our team is prepared for a solid working relationship with Miami Springs. We understand the big issues and details, as well as the small ones. Additionally, good working relationships and our Miami Springs resident team members will help to ensure open lines of communication are maintained during construction.

Not only do we have specific insights gained during the construction facilities, but we provide the combined knowledge of years of experience among key team members of our pre-construction and construction staff. This experience transcends Aquatic Center and tight jobsite constraints to incorporate unique logistical issues imposed by tight Urban Sites, working closely with municipalities, subcontractors and suppliers and doing it all within budget and schedule.



UTILITIES COORDINATION & WORKING WITH M-D WASD

The Lunacon Team has an excellent understanding of the people, departments and processes involved to coordinate construction projects with Municipalities and Utilities to bring all the services and stakeholders together. Blending our years of construction experience, we can integrate all our best practices to give the City of Miami Springs, the overall construction schedule, logistics plan and project they are looking for. We have reviewed the site conditions and existing utilities to understand where the tapping points will occur, location of FPL vault, ensure existing lines are not affected during construction, and what utilities will need to be removed if any.

TRAFFIC CONTROL

Based on our pre-proposal walk-thru and site investigation, we recognize the critical role of traffic management both on and around the site. With the main entrance off Westward Drive, managing traffic around the existing facility and residences will require coordination with not only the City,

community center staff and residents, but with other trade constructors as well. Our preliminary thought is to utilize Apache and Chippewa Streets as the access road for the construction site. Our plan would employ a storage area on the west side of the site off Apache with the parking and job trailer on the east side, allowing construction traffic on site near the areas of work, which will help ease traffic flow and minimize backups. We would also actively engage the Miami Springs Police Department, as required, to manage construction traffic on high volume days or large load days (i.e. concrete pours, steel, and equipment deliveries etc.). The Lunacon team would also require that each subcontractor be required to have flaggers during heavy delivery days to assist with the residential traffic on surrounding streets.

PUBLIC RELATIONS

This project requires a significant degree of coordination between construction and other adjacent facilities and residents. The major issues which the Design-Builder must resolve are the inter-relationships between the construction of this project and the (1) Existing Community Center Facility, (2) Adjacent Business Owners, and (3) Adjacent Residents.

As the Design-Builder on this project, Lunacon will represent the Owner's best interest to develop effective communication between the construction team and the public by working with different groups to establish lines of communication to the public as follows:

- Work with the City Management, Building Owners, Residents, etc., to set up presentations for members, business, etc. to keep them abreast of all the activities that will be taking place and anticipated dates. From these meetings we will build a list of contacts, obtain e-mail addresses and send out periodic e-mail updates about road/lane closures, access, etc. Along with notifying the adjacent businesses and property owners, careful consideration must be given to the existing facility as it may relate to activities and events that they may have throughout the course of the project. Lunacon would rely on The City of Miami Springs to be involved in assisting us in obtaining street/lane closure permits, pedestrian traffic flow [signage, etc.] to allow for minimal impact.
- Disseminate detour maps and information flyers regarding upcoming changes to the media consisting of News Publications [i.e. newspapers] to continually update the public with changes to streets, access, signage etc.

Lunacon would also look at a variety of ways to help maintain the community's interest and enthusiasm throughout the construction process by possibly creating a series of events that would involve the public.

The best foundation for a successful project starts with a comprehensive construction estimate. LUNACON'S foundation for its estimates starts with the preparation of take offs and quantity surveys, together with a detailed analysis of the project's requirements and scope. LUNACON'S experience and expertise are the essential factors in the accurate determination of labor productivity, up to date price of materials and the know-how of constructability of the design intent and the construction documents which together with the knowledge of local conditions and established relationships with Subcontractors, Vendors and Suppliers and construction methodologies become the key ingredients of reliable and precise costs estimates.

LUNACON'S estimators are graduate Architects, Engineers and Construction Managers knowledgeable in construction practices and procedures and with experience and expertise in architectural, civil, structural, mechanical (MPFP) and electrical disciplines.

LUNACON'S ESTIMATING METHODOLOGY:

Site Investigations

- Site investigations are crucial to the success of an estimate. At LUNACON we examine and document access restrictions, traffic conditions, utilities, geotechnical, earthwork and topographical conditions as well as all other conditions unique to the site.

Quantity Takeoffs – Quantity Surveys

- The infrastructure for a successful estimate relies upon reliable identification (takeoffs and surveys) of the various materials and components involved in the project. The quantities developed by LUNACON are some of the most detailed, comprehensive listings possible. Drawings and specifications are reviewed for possible conflicts, omissions or duplications and plans are compared with elevations, sections and details in order to coordinate the building architecture and the disciplines to ensure the constructability of the project and minimize unforeseen conditions during the construction phase.

Determination of Construction Methods

- The individual parts of the project are analyzed for constructability and the efficiency and effectiveness of construction methods as it relates to the scope of work and conformance with the drawings and specifications. We analyze the site specific requirements and the ease of difficulty of the project in achieving the completion status of the work.

Pricing of Materials and Equipment

- Lunacon develops scope work sheets for all of the project requirements and components per CSI Divisions of the project's requirements. Based on the identification of all scope requirements, the pricing efforts are twofold and worked in tandem with one another; Lunacon's database and estimating software allow us to have in-house produced estimates while at the same time we solicit subcontractors, vendors and suppliers quotations. All the quotation information is documented in the scope worksheet inclusive of all the individual subcontractor and or vendor quote and is kept as part of the estimate back-up information. Material prices, especially in today's current market, fluctuate up and down. At LUNACON we understand and anticipate the frequency and extent of the price variations and the timing of the buying cycle in order to forecast and price escalation and material availability that are causes of cost increase.

Detailing of General Conditions

- An integral part of the project estimate is the costs of the general conditions, which include items such as mobilization and demobilization, staffing, temporary buildings and construction, temporary utilities, job office expenses, small tools and consumables, insurance, and all other requirements per the Owner's General Conditions of the Contract.

Estimate / Bid Evaluations

- We evaluate all individual bids for complete scopes, conformance and responsiveness with project requirements including project schedules and understanding of the project site conditions. Our established business relationships with the Subcontractors, Vendors and Suppliers allows us to review the bids directly with the Owners and/or Principals of the companies in order to ensure complete scopes and the most cost effective price possible. Our historical data base is also used in the analysis of the individual bids for price validation. We investigate the past performance records of the Subcontractors submitting bids in order to determine the level of competence and quality of performance to ensure the proper workmanship and a high quality level of the work and the project.

The transfer of the estimate and bid information to the field cost control system provides management the opportunity to closely monitor and control construction costs as these occur. It is LUNACON'S practice to review and evaluate the final cost estimate vs. the actual bid. We use this exercise as a cost control mechanism and important data for estimating future projects.

LUNACON accurate takeoffs and estimates are the key ingredient in the successful cost control of our projects; as such LUNACON specializes in taking a careful approach to the estimating process of all of our projects. LUNACON project cost system is followed through the in-house methodology of the monitored control of the project's costs and expenses together with the gathering of information to be added to LUNACON vast historical building cost data base, which comprises cost data from all of our projects. LUNACON historical cost data base is updated periodically in order to keep with the market and construction trends of the time.

LUNACON starts the application of cost control to our projects at the onset of the projects with the estimating process as the costs are initially estimated. It is then that the project budget is established. This is the budget that will be used by the Project Manager from the planning, design and construction phases of the project for cost control purposes throughout the entire duration of the project. LUNACON uses its programming, planning, design and construction expertise as a measurement of cost control.

The application of cost control is integrated at the programming and design phases with the control of same and the control of scope not required by the Owner's program requirements.

The estimate is the main cost control tool LUNACON utilizes. LUNACON prepares the budget estimate as a detailed prediction of the Project's execution plan. It reflects not only the schedule but the physical and economic conditions under which the Project will be executed. LUNACON estimate is prepared in sufficient detail that permits the actual project performance to be measured against it on an item-by-item basis.

In the design planning stages LUNACON implements cost control in the three basic areas responsible for the success of the Project.

Quality Control

- Quality control of the construction provides for the means of cost control during the occupancy and operational phase of the facility.

Schedule Control

- The facility will be completed by LUNACON on time, in order for the Owner to meet the facility delivery commitments to the Community and the City Officials and Staff assigned to operate and/or use this new facility, thus avoiding for the Owner's additional operational costs not foreseen at the time of budgeting the Project. LUNACON is well aware that time equals money.

Cost Control

- LUNACON will assist in the design of the facility within the budget parameters of the Owner and will adhere to those parameters. Our experience and expertise of design and construction of public facilities will ensure the compliance with design criteria and program requirements included in the base bid price. This will ensure the Owner that no costly "surprises" will arise after contract award.

LUNACON elements of our cost control system comprise the following:

- A planned approach to the Project: In order to bring to realization the maximum economy of the Project, all activities are carefully planned as to the duration of the activity and the execution of same.
- A realistic cost control tool: LUNACON produces a well defined and detailed estimate.
- Accurate and timely cost forecasts: These cover the costs to completion for all activities.
- Comparison of forecasted costs to the cost control tool: This is a detailed item-by-item comparison of forecasted costs with the budget.
- Positive action to minimize budget overruns, which is the essential ingredient of cost control.

LUNACON methodology for cost control allows us to detect cost overruns promptly by making frequent comparisons between actual and estimated expenses of production during the construction phases. In addition, the actual costs are determined in sufficient detail to enable the project management team to locate the problem area should cost overruns occur. During the project's construction, cost accounting methods are applied to obtain the actual production rates and costs as they occur. LUNACON cost accounting involves the continuous determination of productivity and cost data, the analysis of this information, and the presentation of the results in summary form. These summary reports are prepared periodically that are especially designed to identify work areas where costs are exceeding the budget. LUNACON cost control system immediately identifies for the project manager where production costs are unsatisfactory and management action is needed. Timely information is essential if effective action against cost overruns needs to be taken. Through LUNACON costs reports, we can forecast trouble spots, before cost overruns funds are committed in order to determine the appropriate corrective action to deterred costs overruns. LUNACON cost control approach is to be proactive in identifying trouble spots and taking action.

In addition to maintaining a continuous check on production costs for cost-control purposes, the project cost system yields valuable information needed for the estimating of future construction work. Average production rates and unit costs are obtained from our completed projects and maintained in our electronic cost historical data bank. These records of past experience are an invaluable resource to LUNACON estimating department as well as our Clients, when initial budget estimates are developed at the conceptual phase of the project

LUNACON cost control and estimating systems divides all projects costs into work classification

or work types. These classifications are used throughout LUNACON cost system. Each work type is assigned a permanent cost code number which is consistently used for all projects and by all personnel. LUNACON project cost code system is used for project estimating, general financial accounting and field cost accounting. The fact that historical job cost can be associated with specific projects makes them more beneficial; this enables LUNACON to associate production rates and costs with specific project circumstances and conditions.

LUNACON project cost accounting system supplements field supervision. In the final analysis the best cost control mechanism that LUNACON has is our skilled and experienced project management and field administrative staff. LUNACON field project managers and superintendents implement LUNACON cost control methodology from the start of their project involvement, a cost control culture established and executed by all administrative construction personnel, since their project cost monitoring is a key factor to our proven track record of efficient cost control techniques.



JuanCarlos Vinelli
Assistant Vice President
Business Banking Relationship
Manager

SunTrust Bank, South Florida
8820 SW 136th Street
Miami, FL 33176
Cel 786.512.3097
juancarlos.vinelli@suntrust.com

November 24, 2014

City of Miami Springs
201 Westward Drive
Miami Springs, FL 33166-5259

Re: RFP # 01-14/15
Design-Build Project for Miami Springs Aquatic Facility

To whom it may concern:

Please be advised that Lunacon Engineering Group Corp., have been a SunTrust client since March 2013 and they currently maintain a corporate account with balances in the low seven figures. Lunacon Engineering Group Corp., also have a commercial revolving line of credit i/a/o \$500,000.00

This letter is given at the request of the interested party and the above mentioned information is true and correct according to bank records as of this date.

Sincerely,

A large, stylized handwritten signature in black ink, appearing to read "JCV", is written over the typed name and title of the sender.

JuanCarlos Vinelli
Assistant Vice President
Business Banker Relationship Manager



Lunacon Engineering Group, Corp.

DUNS: 82-571-3568

Dashboard

Company Info

16890 S Dixie Hwy
Miami, FL 33157

Phone: (786) 293-0035

DBA's :
LUNACON CONSTRUCTION GROUP

URL: www.lunaconcorp.com

Scores

| PAYDEX® | Delinquency Predictor | | Financial Stress | | Supplier Eval. Risk Rating | Credit Limit Rec. | DandB Rating |
|---------|-----------------------|-------|------------------|-------|----------------------------|-------------------|--------------|
| Score | Score | Class | Score | Class | Rating | Recommendation | Rating |
| 61 ▼ | 519 ▲ | 3 | 1382 ▲ | 4 | 4 ▲ | \$55K | 3A2 |

Recent Alerts

| | |
|--|---|
| INQUIRY 11/21/14 1 New Inquiry | SCORE 11/10/14 Delinquency Predictor Score Improved |
| INQUIRY 11/01/14 3 New Inquiries | INQUIRY 11/01/14 1 New Inquiry |

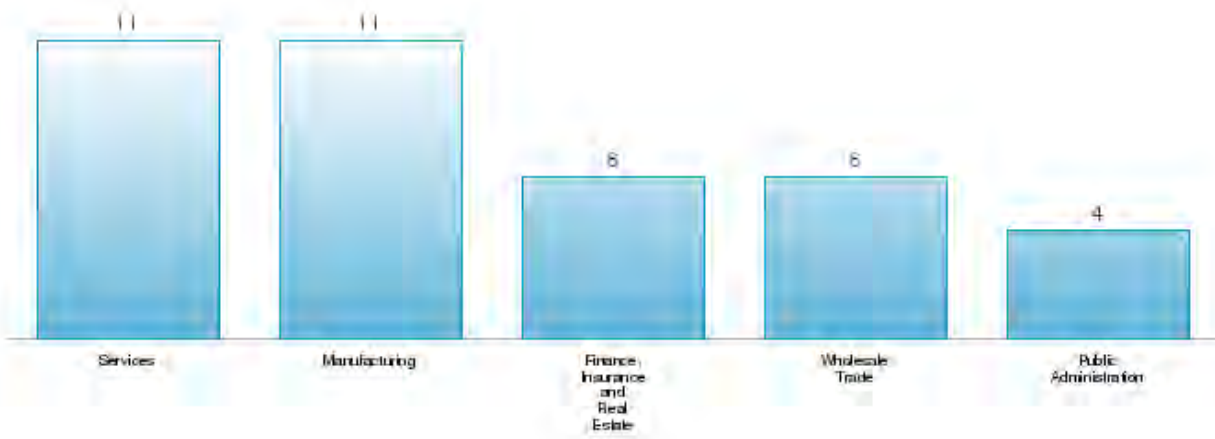
Inquiries

Most Recent

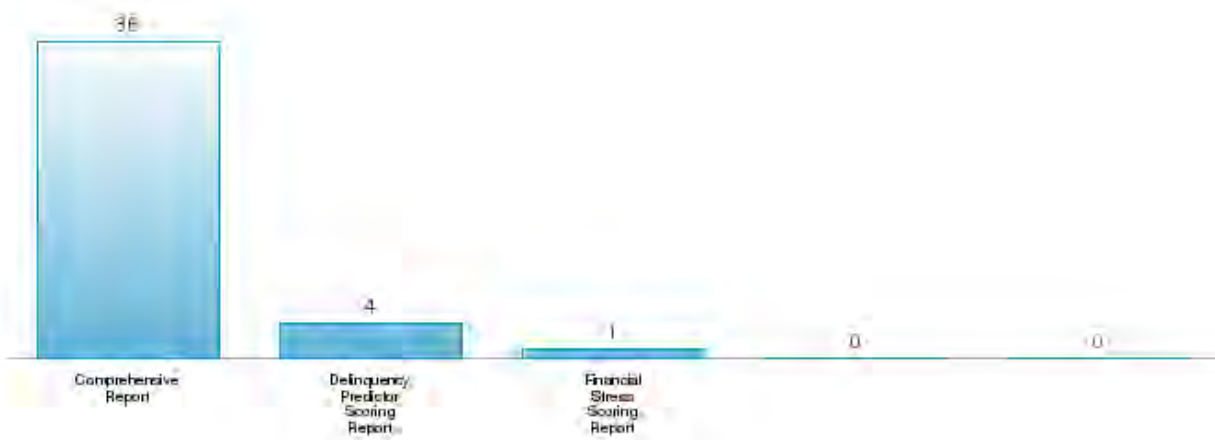
| Date | SIC / Sector | Report type |
|----------|---|----------------------|
| 11/18/14 | Services | Comprehensive Report |
| 10/30/14 | Transportation, Communications, Electric, Gas and Sanitary Services | Comprehensive Report |
| 10/30/14 | Transportation, Communications, Electric, Gas and Sanitary Services | Comprehensive Report |
| 10/30/14 | Transportation, Communications, Electric, Gas and Sanitary Services | Comprehensive Report |
| 10/29/14 | Wholesale Trade | Comprehensive Report |

Top 5 Inquiries by SIC / Sector (12 Months)

| | | |
|--|--|--|
| | | |
| | | |
| | | |
| | | |
| | | |



Top 5 Inquiries by Report Type (12 Months)



Scores

PAYDEX®

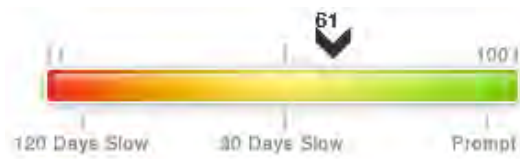
61



3 Month PAYDEX®

70

22 days beyond terms



Understanding My Score

The D&B PAYDEX® is a unique, dollar weighted indicator of payment performance based on payment experiences as reported to D&B by trade references.

Recent Payments

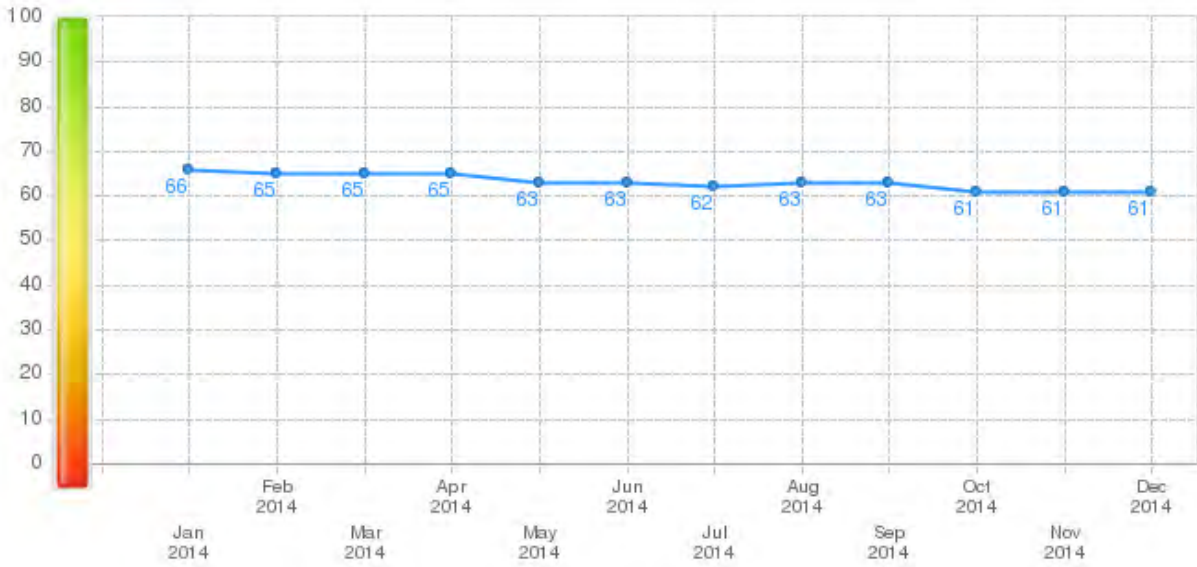
Total (Last 12 Months): 37

| Date | Paying Record | High Credit | Now Owes | Past Due | Selling Terms | Last sale w/f (Mo.) |
|---------|---------------|-------------|----------|----------|---------------|----------------------|
| 10/2014 | Ppt | \$0 | \$750 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$25,000 | \$2,500 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$5,000 | \$5,000 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$5,000 | \$1,000 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$5,000 | \$2,500 | \$0 | -- | 1 mo |

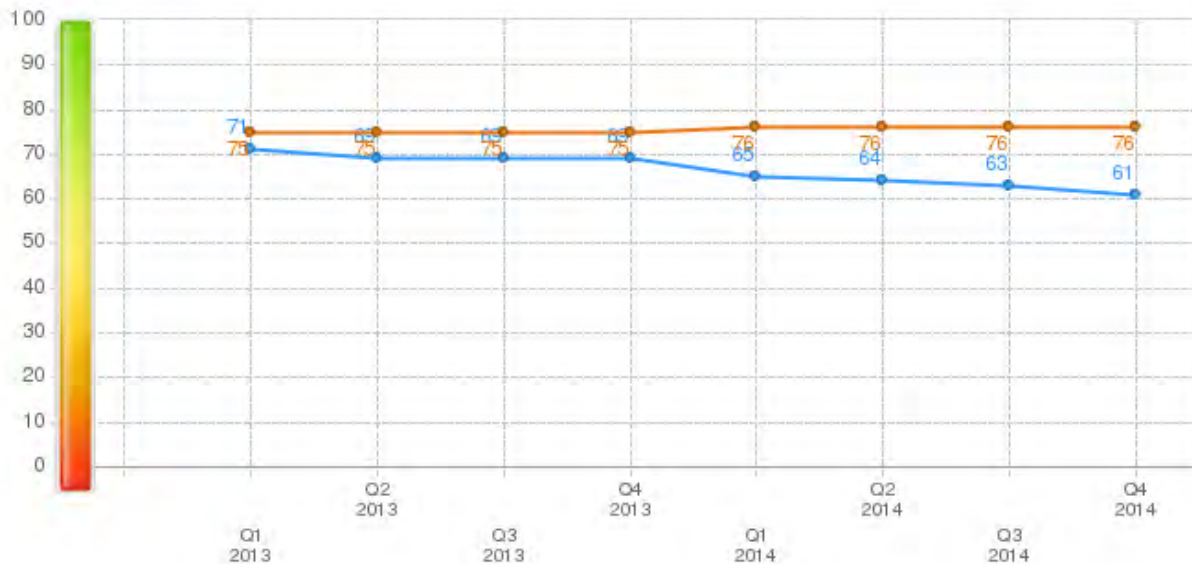
Key

| PAYDEX® | Payment Practices | PAYDEX® | Payment Practices |
|---------|----------------------|---------|----------------------------|
| 100 | Anticipate | 40 | 60 Days Beyond Terms |
| 90 | Discount | 30 | 90 Days Beyond Terms |
| 80 | Prompt | 20 | 120 Days Beyond Terms |
| 70 | 15 Days Beyond | 1-19 | Over 120 Days Beyond Terms |
| 60 | 22 Days Beyond Terms | UN | Unavailable |
| 50 | 30 Days Beyond Terms | | |

Trends



Industry Comparison



- My Company (61)
- Industry Median: (76)

Based on payments collected over the last 4 quarters.

- Current PAYDEX® for this business is 61, or equal to 22 days beyond terms
- The present industry median score is 76, or equal to 6 days beyond terms.

Delinquency Predictor Score

Score **519** ▲ Class **3** Percentile **64%**



Moderate risk of severe payment delinquency over next 12 months

Understanding My Score

The D&B Delinquency Predictor (formerly the Commercial Credit Score) predicts the likelihood that a company will pay in a severely delinquent manner (91+ days past term) over the next 12 months, seek legal relief from creditors, or cease operations without paying all creditors in full over the next 12 months based on the information in D&B's database. A severely delinquent firm is defined as a business with at least 10% of its dollars 91+ days slow.

Incidence of Delinquent Payment:

Among Companies with this Classification: **5.80%**

Factors Affecting Your Score:

Limited time under present management control

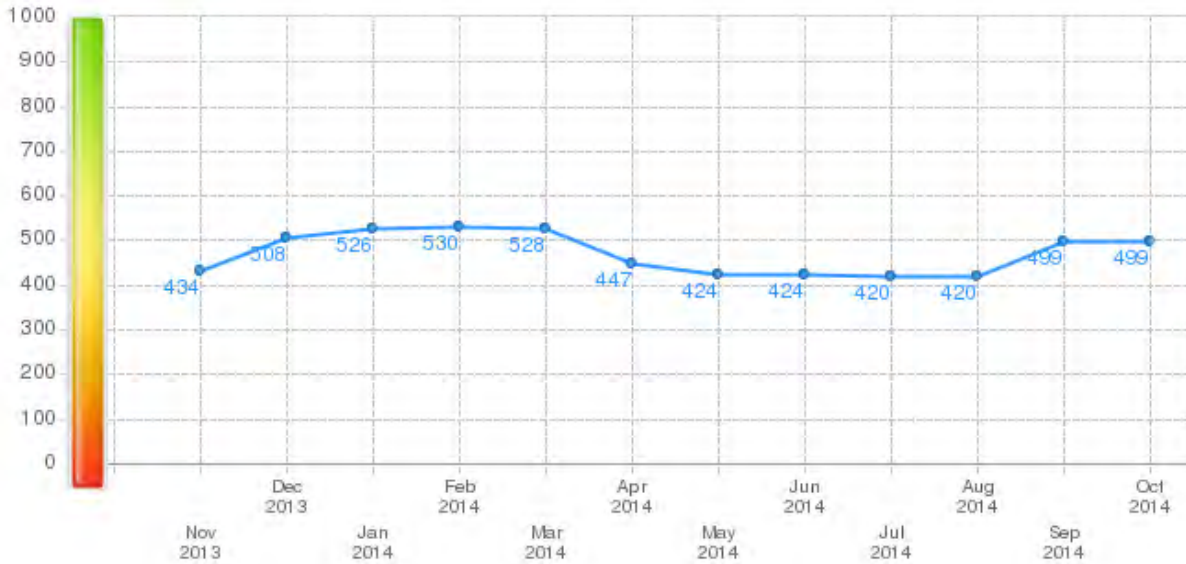
Higher risk industry based on delinquency rates for this industry

Recent high balance past due

Proportion of past due balances to total amount owing

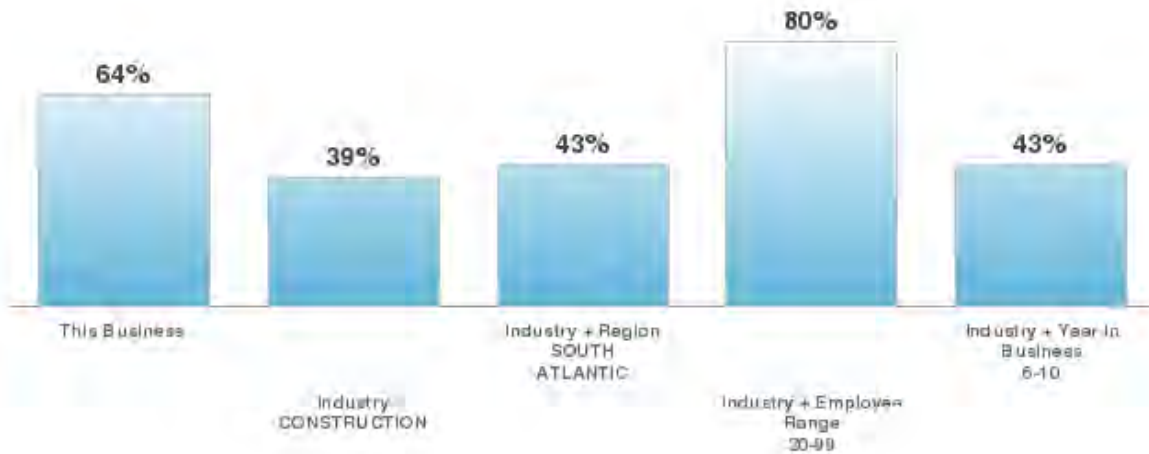
| Risk Class | % of Businesses within this Class | Percentile | Score |
|------------|-----------------------------------|------------|---------|
| 1 | 10% | 91-100 | 580-670 |
| 2 | 20% | 71-90 | 530-579 |
| 3 | 40% | 31-70 | 481-529 |
| 4 | 20% | 11-30 | 453-480 |
| 5 | 10% | 1-10 | 101-452 |

Trends - Scores, 12 Month



• My Company (519)

Industry Comparison



This business has a Credit Score Percentile that shows:

- Lower risk than other companies in the same region.
- Lower risk than other companies in the same industry.
- Higher risk than other companies in the same employee size range.
- Lower risk than other companies with a comparable number of years in business.

Financial Stress Score

Score

Class

Nat'l %

1382 ▲ 4 5%



Moderate to high risk of severe financial stress, such as a bankruptcy, over the next 12 months

Understanding My Score

Incidence of Financial Stress:

Among Companies with this Classification: **0.84** (84 per 10000)

Factors Affecting Your Score:

Limited number of comparative financial statements.

Low proportion of satisfactory payment experiences to total payment experiences.

High number of inquiries to D&B over last 12 months.

Low Paydex Score.

Limited time under present management control

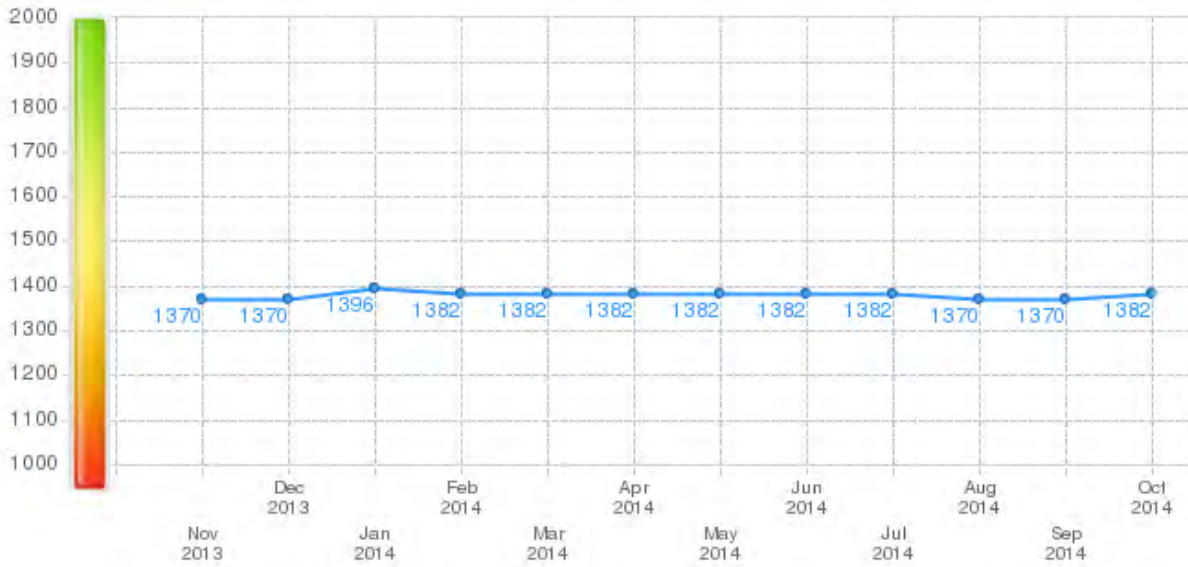
- The Financial Stress Class Summary Model predicts the likelihood of a firm ceasing business without paying all creditors in full, or reorganization or obtaining relief from creditors under state/federal law over the next 12 months. Scores were calculated using a statistically valid model derived from D&B's extensive data files.

Notes:

- The Financial Stress Class indicates that this firm shares some of the same business and financial characteristics of other companies with this classification. It does not mean the firm will necessarily experience financial stress.
- The Incidence of Financial Stress shows the percentage of firms in a given Class that discontinued operations over the past year with loss to creditors. The Incidence of Financial Stress - National Average represents the national failure rate and is provided for comparative purposes.
- The Financial Stress National Percentile reflects the relative ranking of a company among all scorable companies in D&B's file.
- The Financial Stress Score offers a more precise measure of the level of risk than the Class and Percentile. It is especially helpful to customers using a scorecard approach to determining overall business performance.
- All Financial Stress Class, Percentile, Score and Incidence statistics are based on sample data from

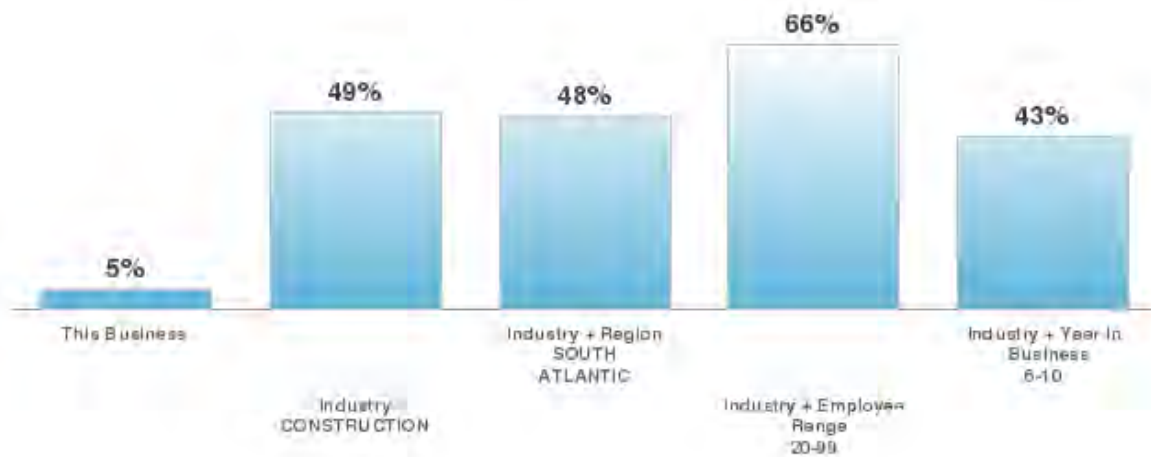
| Key | | | |
|-----------|-------|------------|-------------------------------|
| Score | Class | Percentile | Incidence of Financial Stress |
| 1570-1875 | 1 | 95-100 | 6.0% |
| 1510-1569 | 2 | 69-94 | 10.6% |
| 1450-1509 | 3 | 34-68 | 18.4% |
| 1340-1449 | 4 | 2-33 | 31.5% |
| 1001-1339 | 5 | 1 | 70.0% |

Trends - Scores, 12 Month



• My Company (1,382)

Industry Comparison



Based on payments collected over the last 4 quarters.

- Higher risk than other companies in the same region.
- Higher risk than other companies in the same industry.
- Higher risk than other companies in the same employee size range.
- Higher risk than other companies with a comparable number of years in business.

Supplier Evaluation Risk Rating

4 ▲



Moderate risk of supplier experiencing severe financial stress over the next 12 months.

Understanding My Score

The Supplier Evaluation Risk (SER) Rating predicts the likelihood that a supplier will cease

business operations or become inactive over the next 12 month period based on the depth of predictive data attributes available on the business. The SER Rating scoring system uses statistical probabilities to classify public and private companies into a 1-9 risk rating, where 1 represents low risk and 9 represents high risk.

Factors Affecting This Company's Score:

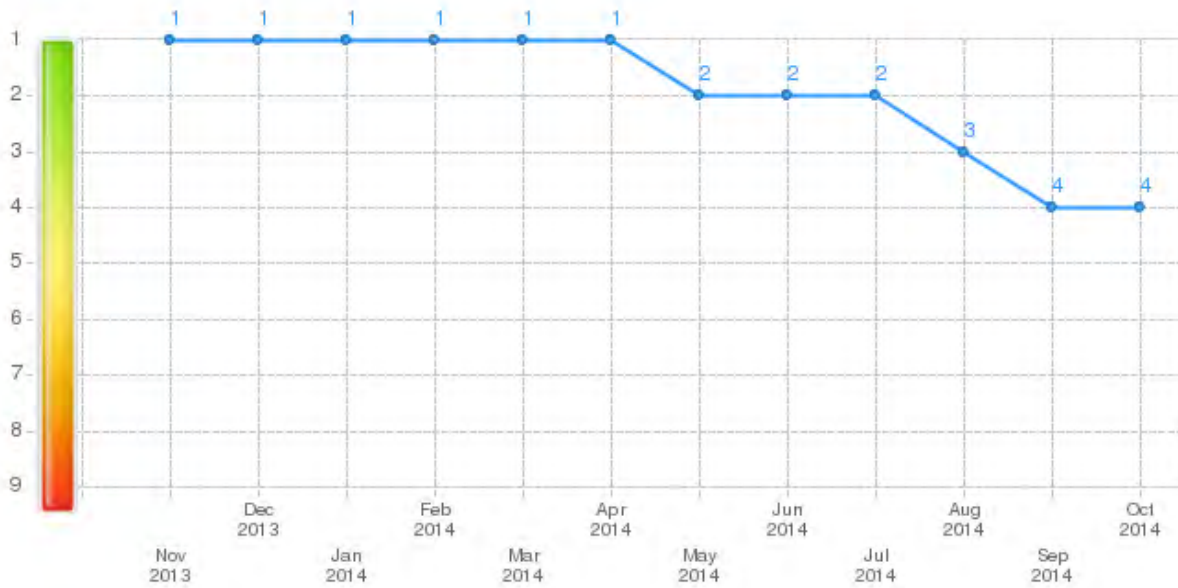
Age of financial statement reported

Limited time under present management control

Proportion of slow payment experiences to total number of payment experiences reported

Higher risk industry based on inactive rate for this industry

Trends



• My Company (4)

Credit Limit Recommendation

Risk Category

1

Conservative Credit Limit

\$55k

Aggressive Credit Limit

\$100k

Low



Understanding My Score

D&B's Credit Limit Recommendation is intended to help you more easily manage your credit decisions. It provides two recommended dollar guidelines:

A conservative limit, which suggests a dollar benchmark if your policy is to extend less credit to minimize risk.

An aggressive limit, which suggests a dollar benchmark if your policy is to extend more credit with potentially more risk.

The dollar guideline amounts are based on a historical analysis of credit demand of customers in D&B's U.S. payments database which have a similar profile to your business.

Rating
3A2

Financial Strength: **3A indicates \$1 to \$10,000,000**
Composite Credit Appraisal: **2 is good**

| D&B Rating | Date Applied |
|------------|--------------|
| 3A2 | 2013-05-21 |
| 1A2 | 2012-11-08 |
| 1R3 | 2012-02-03 |
| -- | 2011-07-15 |

Understanding My Score

Factors Affecting Your Score

of Employees Total: **41**

Sales: **\$5,879,770.00**

As of 12/31/12

Worth: **\$1,026,123**

Working Capital: **\$958,488**

Payment Activity (based on 37 experiences):

Average High Credit: **\$5,062**

Highest Credit: **\$55,000**

Total Highest Credit: **\$147,950**

Note: The Worth amount in this section may have been adjusted by D&B to reflect typical deductions, such as certain intangible assets.

Inquiries

12 Month Summary

Over the past 12 months ending 11-2014, 41 individual requests for information on your company were received; this represents a 31.71% decrease over the prior 12 month period. The 41 inquiries were made by 16 unique companies indicating that some companies have inquired on your business multiple times and may be monitoring you. Of the total products purchased, 11, or 26.83% came from the Services sector; 11, or 26.83% came from the Manufacturing sector; 6, or 14.63% came from the Finance, Insurance and Real Estate sector.

12 Mo. Total: 41

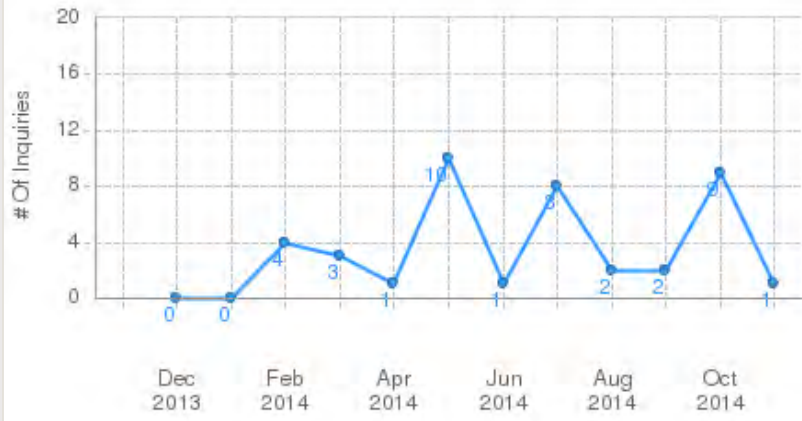
12 Mo. Unique Companies: 16

| Date ▼ | Report type | SIC / Sector |
|----------|----------------------|---|
| 11/18/14 | Comprehensive Report | Services |
| 10/30/14 | Comprehensive Report | Transportation, Communications, Electric, Gas and Sanitary Services |
| 10/30/14 | Comprehensive Report | Transportation, Communications, Electric, Gas and Sanitary Services |
| 10/30/14 | Comprehensive Report | Transportation, Communications, Electric, Gas and Sanitary Services |
| 10/29/14 | Comprehensive Report | Wholesale Trade |
| 10/23/14 | Comprehensive Report | Manufacturing |

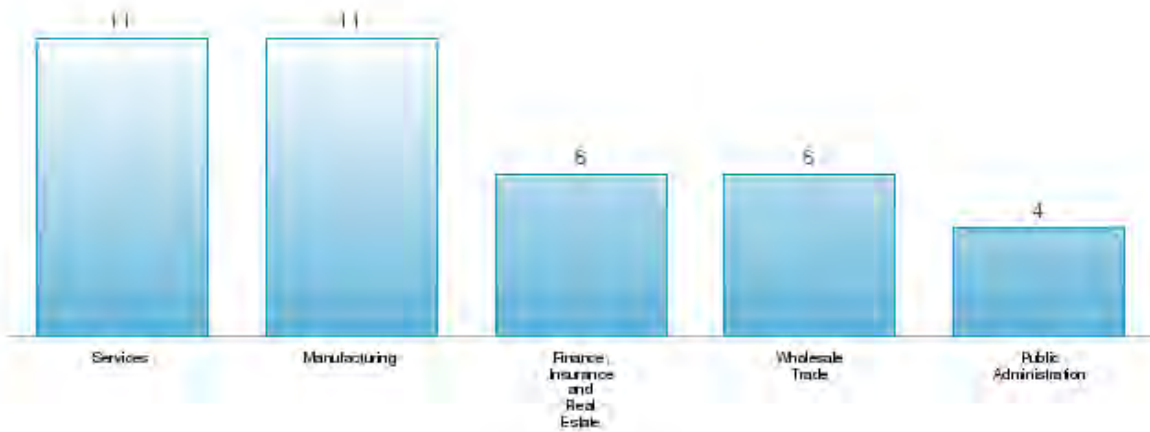
| | | |
|----------|--------------------------------------|------------------------------------|
| 10/18/14 | Comprehensive Report | Public Administration |
| 10/14/14 | Comprehensive Report | Wholesale Trade |
| 10/14/14 | Comprehensive Report | Wholesale Trade |
| 10/14/14 | Comprehensive Report | Wholesale Trade |
| 09/17/14 | Comprehensive Report | Wholesale Trade |
| 09/09/14 | Delinquency Predictor Scoring Report | Public Administration |
| 08/25/14 | Comprehensive Report | Manufacturing |
| 08/04/14 | Comprehensive Report | Services |
| 07/23/14 | Comprehensive Report | Services |
| 07/23/14 | Comprehensive Report | Services |
| 07/23/14 | Comprehensive Report | Services |
| 07/23/14 | Comprehensive Report | Services |
| 07/14/14 | Comprehensive Report | Manufacturing |
| 07/14/14 | Comprehensive Report | Manufacturing |
| 07/14/14 | Comprehensive Report | Manufacturing |
| 06/27/14 | Comprehensive Report | Public Administration |
| 05/30/14 | Comprehensive Report | Manufacturing |
| 05/30/14 | Comprehensive Report | Manufacturing |
| 05/30/14 | Comprehensive Report | Manufacturing |
| 05/27/14 | Financial Stress Scoring Report | Wholesale Trade |
| 05/23/14 | Comprehensive Report | Manufacturing |
| 05/23/14 | Comprehensive Report | Manufacturing |
| 05/23/14 | Comprehensive Report | Manufacturing |
| 05/19/14 | Delinquency Predictor Scoring Report | Finance, Insurance and Real Estate |
| 05/15/14 | Comprehensive Report | Finance, Insurance and Real Estate |
| 05/15/14 | Comprehensive Report | Finance, Insurance and Real Estate |
| 04/03/14 | Comprehensive Report | Services |
| 03/11/14 | Comprehensive Report | Services |
| 03/05/14 | Comprehensive Report | Services |
| 03/05/14 | Delinquency Predictor Scoring Report | Finance, Insurance and Real Estate |
| 02/28/14 | Comprehensive Report | Finance, Insurance and Real Estate |
| 02/28/14 | Comprehensive Report | Services |
| 02/28/14 | Delinquency Predictor Scoring Report | Finance, Insurance and Real Estate |
| 02/13/14 | Comprehensive Report | Public Administration |

Trends - 12 Month

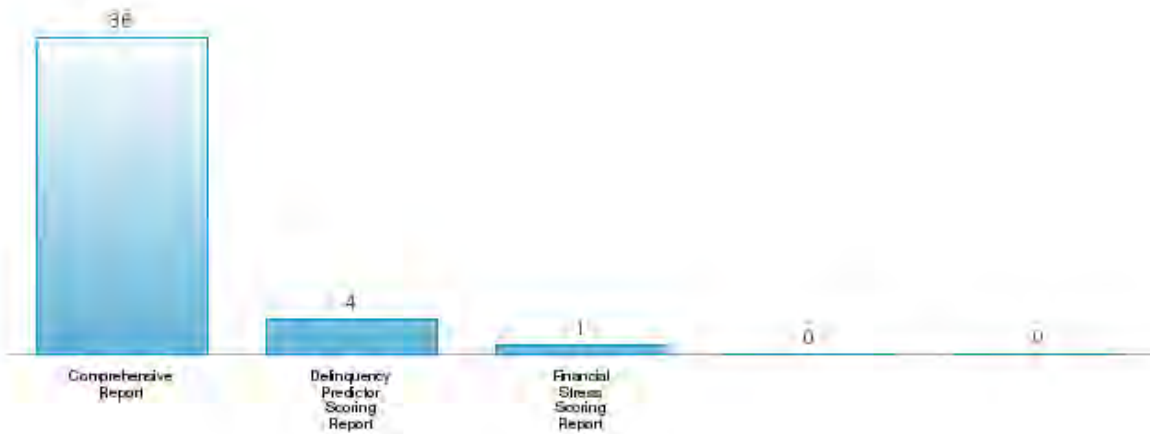
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Top 5 Inquiries by Report Type (12 Months)



Top 5 Report Types Graph(12 Months)



All Inquiries by Industry and SIC / Sector

| SIC/Sector | Dec 2013 to Feb 2014 | Mar 2014 to May 2014 | Jun 2014 to Aug 2014 | Sep 2014 to Nov 2014 | Total Inquiries |
|--|-------------------------|-------------------------|-------------------------|-------------------------|--------------------|
| Construction | 0 | 0 | 0 | 0 | 0 |
| Finance, Insurance and Real Estate | 2 | 4 | 0 | 0 | 6 |
| Manufacturing | 0 | 6 | 4 | 1 | 11 |
| Public Administration | 1 | 0 | 1 | 2 | 4 |
| Retail Trade | 0 | 0 | 0 | 0 | 0 |
| Services | 1 | 3 | 6 | 1 | 11 |
| Transportation, Communications, Electric, Gas and Sanitary Services | 0 | 0 | 0 | 3 | 3 |
| Wholesale Trade | 0 | 1 | 0 | 5 | 6 |

| Inquiries by Report Type | | | | | |
|--------------------------------------|-------------------------|-------------------------|-------------------------|-------------------------|-------|
| Report Type | Dec 2013 to Feb 2014 | Mar 2014 to May 2014 | Jun 2014 to Aug 2014 | Sep 2014 to Nov 2014 | Total |
| Business Information Report | 0 | 0 | 0 | 0 | 0 |
| Comprehensive Report | 3 | 11 | 11 | 11 | 36 |
| Delinquency Predictor Scoring Report | 1 | 2 | 0 | 1 | 4 |
| Financial Stress Scoring Report | 0 | 1 | 0 | 0 | 1 |
| Others | 0 | 0 | 0 | 0 | 0 |

Payments

Currency: Shown in USD unless otherwise indicated

Payments Summary

Current 61 Equal to 22 days beyond terms
PAYDEX®:
Industry Median: 76 Equal to 6 DAYS BEYOND terms
Payment Trend: ↔ Unchanged, compared to payments three months ago

Total payment Experiences in D&Bs File (HQ): 37
Payments Within Terms (not dollar weighted): 79
Total Placed For Collection: NA
Average Highest Credit: 5,062
Largest High Credit: 55,000
Highest Now Owing: 5,000
Highest Past Due: 1,000

Payments Summary by Industry

Total (Last 12 Months): 37

| | Total Received | Total Dollar Amount | Largest High Credit Payment summary | Within Terms | Days Slow | | | |
|----------------------------------|----------------|---------------------|-------------------------------------|--------------|-----------|-------|-------|----|
| | | | | | 31 | 30-80 | 81-90 | 90 |
| Top Industries | | | | | | | | |
| Short-trl busn credit | 3 | \$35,000 | \$25,000 | 100% | 0 | 0 | 0 | 0 |
| Misc business credit | 3 | \$2,500 | \$750 | 80% | 20 | 0 | 0 | 0 |
| Public finance | 2 | \$7,500 | \$5,000 | 100% | 0 | 0 | 0 | 0 |
| Whol electrical equip | 2 | \$3,500 | \$2,500 | 100% | 0 | 0 | 0 | 0 |
| Telephone communictns | 2 | \$2,000 | \$1,000 | 100% | 0 | 0 | 0 | 0 |
| Whol plumb/hydronics | 2 | \$750 | \$500 | 33% | 67 | 0 | 0 | 0 |
| Business consulting | 2 | \$200 | \$100 | 100% | 0 | 0 | 0 | 0 |
| Mfg refrig/heat equip | 1 | \$55,000 | \$55,000 | 0% | 100 | 0 | 0 | 0 |
| Whol lumber/millwork | 1 | \$20,000 | \$20,000 | 0% | 50 | 50 | 0 | 0 |
| Misc equipment rental | 1 | \$7,500 | \$7,500 | 0% | 0 | 50 | 50 | 0 |
| Radiotelephone commun | 1 | \$5,000 | \$5,000 | 100% | 0 | 0 | 0 | 0 |
| Misc business service | 1 | \$5,000 | \$5,000 | 100% | 0 | 0 | 0 | 0 |
| Management services | 1 | \$1,000 | \$1,000 | 100% | 0 | 0 | 0 | 0 |
| Mfg computers | 1 | \$1,000 | \$1,000 | 50% | 0 | 50 | 0 | 0 |
| Electric services | 1 | \$500 | \$500 | 100% | 0 | 0 | 0 | 0 |
| Reg misc coml sector | 1 | \$100 | \$100 | 100% | 0 | 0 | 0 | 0 |
| Whol industrial suppl | 1 | \$100 | \$100 | 50% | 50 | 0 | 0 | 0 |
| Natnl commercial bank | 1 | \$50 | \$50 | 100% | 0 | 0 | 0 | 0 |
| Adjust/collect svcs | 1 | \$50 | \$50 | 0% | 50 | 0 | 50 | 0 |
| Petroleum terminal | 1 | \$50 | \$50 | 100% | 0 | 0 | 0 | 0 |
| Other Categories | | | | | | | | |
| Cash experiences | 8 | \$1,150 | \$500 | -- | -- | -- | -- | -- |
| Unknown | 0 | \$0 | \$0 | -- | -- | -- | -- | -- |
| Unfavorable comments | 0 | \$0 | \$0 | -- | -- | -- | -- | -- |
| Placed for collections with D&B: | 0 | \$0 | \$0 | -- | -- | -- | -- | -- |
| Other | 0 | N/A | \$0 | -- | -- | -- | -- | -- |
| Total in D&B's file | 37 | \$147,950 | \$55,000 | -- | -- | -- | -- | -- |

Payments Beyond Terms

Total (Last 12 Months): 8

| Date ▼ | Paying Record | High Credit | Now Owes | Past Due | Selling Terms | Last sale w/f (Mo.) |
|---------|---------------|-------------|----------|----------|---------------|----------------------|
| 10/2014 | Ppt-Slow 30 | -- | \$1,000 | \$1,000 | -- | 1 mo |
| 10/2014 | Ppt-Slow 60 | \$1,000 | \$500 | \$500 | -- | 1 mo |
| 10/2014 | Slow 30-60 | \$20,000 | \$0 | \$0 | -- | 2-3 mos |
| 08/2014 | Ppt-Slow 30 | \$100 | \$0 | \$0 | -- | 6-12 mos |
| 02/2014 | Slow 30 | \$500 | \$0 | \$0 | -- | 6-12 mos |
| 12/2013 | Slow 60-90 | \$7,500 | \$0 | \$0 | -- | 6-12 mos |
| 11/2013 | Slow 30-90 | \$50 | \$0 | \$0 | N30 | 6-12 mos |
| 07/2013 | Slow 30 | \$55,000 | \$500 | \$500 | N30 | 1 mo |

All Payments

Total (Last 12 Months): 37

| Date ▼ | Paying Record | High Credit | Now Owes | Past Due | Selling Terms | Last sale w/f (Mo.) |
|---------|---------------|-------------|----------|----------|---------------|----------------------|
| 10/2014 | Ppt | -- | \$750 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$25,000 | \$2,500 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$5,000 | \$5,000 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$5,000 | \$1,000 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$5,000 | \$2,500 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$5,000 | \$2,500 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$1,000 | \$1,000 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$1,000 | \$1,000 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$1,000 | \$1,000 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$1,000 | \$0 | \$0 | N30 | 1 mo |
| 10/2014 | Ppt | \$750 | \$750 | \$0 | -- | 1 mo |
| 10/2014 | Ppt | \$500 | \$500 | -- | -- | 1 mo |
| 10/2014 | Ppt-Slow 30 | -- | \$1,000 | \$1,000 | -- | 1 mo |
| 10/2014 | Ppt-Slow 60 | \$1,000 | \$500 | \$500 | -- | 1 mo |
| 10/2014 | Slow 30-60 | \$20,000 | \$0 | \$0 | -- | 2-3 mos |
| 09/2014 | (016) | \$500 | -- | -- | Cash account | 1 mo |
| 09/2014 | (017) | \$250 | -- | -- | Cash account | 2-3 mos |
| 09/2014 | (018) | \$100 | -- | -- | Cash account | 4-5 mos |
| 09/2014 | (019) | \$50 | -- | -- | Cash account | 4-5 mos |
| 08/2014 | Ppt-Slow 30 | \$100 | \$0 | \$0 | -- | 6-12 mos |
| 07/2014 | (021) | \$50 | -- | -- | Cash account | 1 mo |
| 06/2014 | Ppt | \$2,500 | \$0 | \$0 | -- | 6-12 mos |
| 05/2014 | (023) | \$100 | -- | -- | -- | 1 mo |
| 04/2014 | Ppt | \$5,000 | -- | -- | -- | 1 mo |
| 04/2014 | Ppt | \$2,500 | -- | -- | -- | 1 mo |
| 04/2014 | (026) | \$100 | -- | -- | Cash account | 1 mo |
| 04/2014 | (027) | \$50 | -- | -- | Cash account | 1 mo |
| 02/2014 | Slow 30 | \$500 | \$0 | \$0 | -- | 6-12 mos |
| 12/2013 | Slow 60-90 | \$7,500 | \$0 | \$0 | -- | 6-12 mos |
| 11/2013 | Slow 30-90 | \$50 | \$0 | \$0 | N30 | 6-12 mos |
| 07/2013 | Ppt | \$100 | -- | -- | -- | 1 mo |
| 07/2013 | Ppt | \$100 | -- | -- | -- | 1 mo |
| 07/2013 | Ppt | \$50 | \$0 | \$0 | -- | 6-12 mos |
| 07/2013 | Slow 30 | \$55,000 | \$500 | \$500 | N30 | 1 mo |
| 05/2013 | Ppt | \$50 | \$0 | \$0 | -- | 6-12 mos |
| 05/2013 | (036) | \$50 | -- | -- | Cash account | 1 mo |
| 12/2012 | Ppt | \$250 | \$0 | \$0 | -- | 6-12 mos |

Indications of slowness can be the result of disputes over merchandise, skipped invoices, etc. Accounts are sometimes placed in collection even though the existence or amount of debt is disputed.

History & Operations

Currency: Shown in USD unless otherwise indicated

Company Overview

| | | | |
|---------------------------|--|------------------------------------|---------------------|
| Company Name: | LUNACON ENGINEERING GROUP, CORP. | URL: | www.lunaconcorp.com |
| Doing Business As: | LUNACON CONSTRUCTION GROUP | Stock Symbol: | NA |
| Street Address: | 16890 S Dixie Hwy Miami, FL 33157 | History: | NA |
| Phone: | (786) 293-0035 | Operations: | profitable |
| Fax: | (786) 293-0333 | Present Management Control: | NA |
| | | Annual Sales: | \$5,879,770 |

History

The following information was reported: **06/05/2014**

Officer(s):
PATRICIA C BONILLA, PRES
EMILIO CRIADO, V PRES

DIRECTOR(S):
THE OFFICER(S)

The Florida Secretary of State's business registrations file showed that Lunacon Engineering Group, Corp., was registered as a Corporation on January 16, 2007.

Business started Jan 2007. 100% of capital stock is owned by Patricia Bonilla.

PATRICIA C BONILLA. Antecedents are undetermined.

EMILIO CRIADO. Antecedents are undetermined.

Business address has changed from 16501 Sw 77th Ave, Miami, FL, 33157 to 16890 S Dixie Hwy , Palmetto Bay, FL, 33157.

Business address has changed from 16890 S Dixie Hwy, Palmetto Bay, FL, 33157 to 16890 S Dixie Hwy, Miami, FL, 33157.

Business Registration

CORPORATE AND BUSINESS REGISTRATIONS REPORTED BY THE SECRETARY OF STATE OR OTHER OFFICIAL SOURCE AS OF
NOVEMBER 19 2014.

| | |
|--------------------------------|----------------------------------|
| Registered Name: | LUNACON ENGINEERING GROUP, CORP. |
| Business Type: | DOMESTIC CORPORATION |
| Corporation Type: | PROFIT |
| Date Incorporated: | Jan 16 2007 |
| State of Incorporation: | FLORIDA |
| Filing Date: | Jan 16 2007 |
| FilingFedID: | 371535403 |
| Registration ID: | P07000006670 |
| Duration: | NA |

| Record Type | # of Records | Most Recent Filing Date |
|------------------------|--------------|-------------------------|
| Bankruptcy Proceedings | - | - |
| Judgments | 0 | - |
| Liens | 0 | - |
| Suits | 0 | - |
| UCCs | 2 | 03/27/13 |

The following Public Filing data is for information purposes only and is not the official record. Certified copies can only be obtained from the official source.

Judgments

We currently don't have enough data to display this section.

Liens

We currently don't have enough data to display this section.

Suits

We currently don't have enough data to display this section.

Government Activity

We currently don't have enough data to display this section.

Special Events

We currently don't have enough data to display this section.

Corporate Linkage

Parent

| Company Name | DUNS # | City, State |
|----------------------------------|-------------|-----------------------|
| LUNACON ENGINEERING GROUP, CORP. | 82-571-3568 | PALMETTO BAY, FLORIDA |

Headquarters (US)

We currently don't have enough data to display this section.

US Linkages

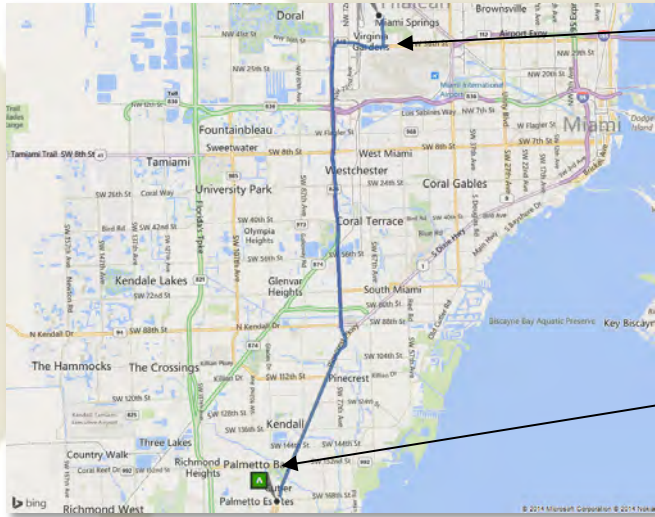
We currently don't have enough data to display this section.

International Linkages

We currently don't have enough data to display this section.

LOCATION / AVAILABILITY

LUNACON is located in South Miami at 16890 South Dixie Highway, Miami, FL 33157. The distance from the LUNACON office location to the project site is approximately 17 miles. Travel time is approximately 30 minutes in normal traffic.

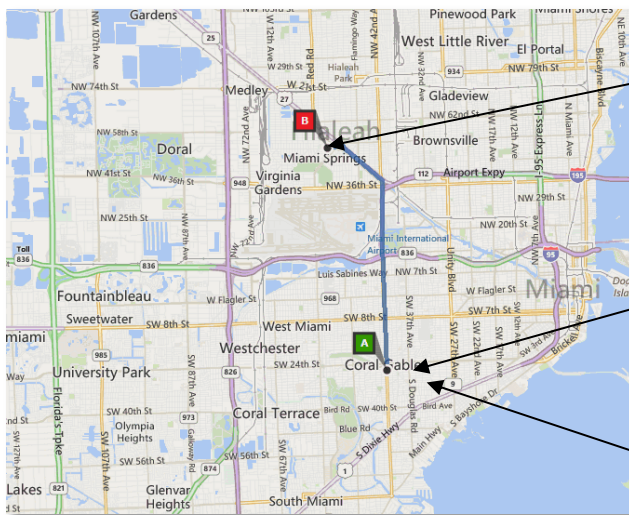


Project Location
1401 Westward Drive
Miami Springs, FL 33166

Lunacon Construction
16890 South Dixie Hwy.
Miami, FL 33157

Carty Architecture is located in Coral Gables, Florida at 2655 S. Le Jeune Rd Coral Gables, Florida 33134. The distance from the Carty Architecture's office location to the project site is approximately 6 miles. Travel time is approximately 15 minutes in normal traffic.

Alleguez Architecture is located in Coral Gables, Florida at 901 Ponce De Leon Blvd. Coral Gables, Florida 33134. The distance from the Alleguez Architecture's office location to the project site is approximately 6 miles. Travel time is approximately 15 minutes in normal traffic.



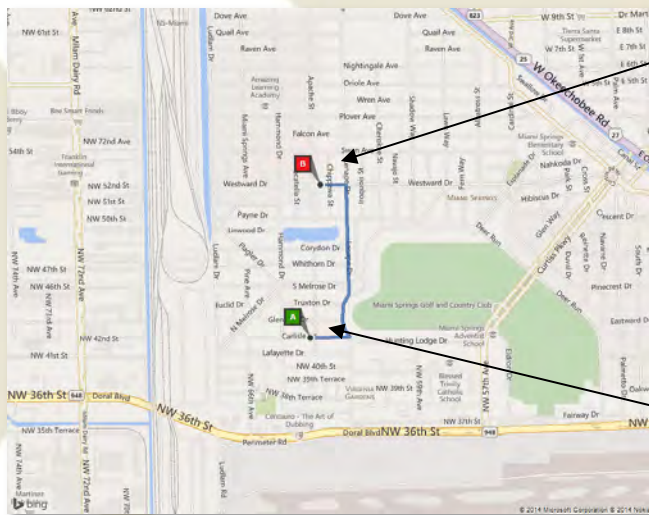
Project Location
1401 Westward Drive
Miami Springs, FL 33166

Alleguez Architecture
901 Ponce De Leon
Coral Gables, FL 33134

Carty Architecture
2655 S. Le Jeune Road
Coral Gables, FL 33134

LOCATION / AVAILABILITY

Additionally, the Project Manager from Allequez Architecture assigned to the project is a Miami Springs resident as well as two other members of the team. Mr. Milean lives 108 Carlisle Dr., Miami Springs, Florida 33166 which is 0.8 miles from the project.



Project Location
1401 Westward Drive
Miami Springs, FL 33166

Allequez Project Manager
108 Carlisle Dr.
Miami Springs, FL 33166

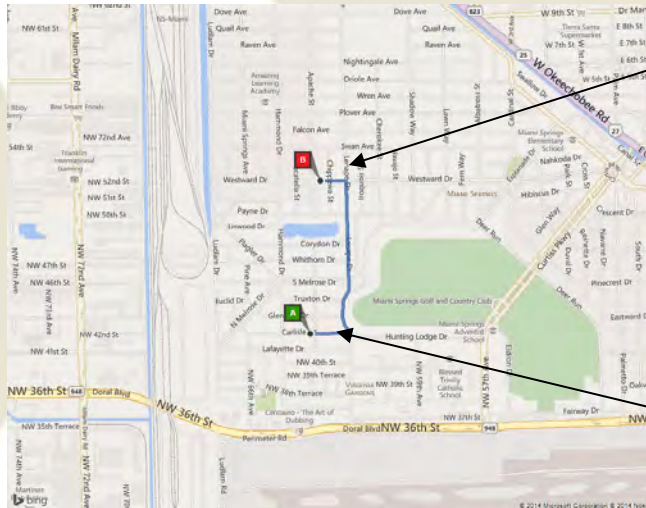
The LUNACON Team's close proximity gives the Design-Build Team the ability to respond to the City of Miami Springs requests for personal meetings, schedule changes, and on-site matters in a timely manner without delaying the project schedule. Furthermore, providing efficient project communication via timely responses and clear correspondence is a performance expectation for all LUNACON projects.

The LUNACON Team is prepared to commit to the City's proposed timeline for the start of construction in January 2015 and the personnel resources specifically represented and listed in this Proposal will actually be available and assigned to the Project to fulfill their responsibilities associated with this Project. The LUNACON Team will provide all personnel, equipment, supplies, facilities, transportation, tools, materials, supervision, and other items and non-personal services necessary to perform the work.

The LUNACON Construction Management Team has over 50+ years combined construction experience in South Florida with extensive working knowledge and experience with all applicable building codes and regulations, including but not limited to the Florida Building Code, Florida Statute, Americans with Disabilities Act, life safety codes, Florida Green Building Certification prerequisites / credits, and local municipality zoning codes and ordinances. Additionally, previous work with the Department of Military Affairs at Miramar on the first phase, as well as, other military facilities demonstrates LUNACON'S familiarity with the Government standards and procedures set forth for this project.

LOCATION / AVAILABILITY

Additionally, the Project Manager from Allequez Architecture assigned to the project is a Miami Springs resident as well as two other members of the team. Mr. Milean lives 108 Carlisle Dr., Miami Springs, Florida 33166 which is 0.8 miles from the project.



Project Location
1401 Westward Drive
Miami Springs, FL 33166

Allequez Project Manager
108 Carlisle Dr.
Miami Springs, FL 33166

The LUNACON Team's close proximity gives the Design-Build Team the ability to respond to the City of Miami Springs requests for personal meetings, schedule changes, and on-site matters in a timely manner without delaying the project schedule. Furthermore, providing efficient project communication via timely responses and clear correspondence is a performance expectation for all LUNACON projects.

The LUNACON Team is prepared to commit to the City's proposed timeline for the start of construction in February - April 2015 and the personnel resources specifically represented and listed in this Proposal will actually be available and assigned to the Project to fulfill their responsibilities associated with this Project. The LUNACON Team will provide all personnel, equipment, supplies, facilities, transportation, tools, materials, supervision, and other items and non-personal services necessary to perform the work.

The LUNACON Construction Management Team has over 50+ years combined construction experience in South Florida with extensive working knowledge and experience with all applicable building codes and regulations, including but not limited to the Florida Building Code, Florida Statute, Americans with Disabilities Act, life safety codes, Florida Green Building Certification prerequisites / credits, and local municipality zoning codes and ordinances. Additionally, previous work with the Department of Military Affairs at Miramar on the first phase, as well as, other military facilities demonstrates LUNACON'S familiarity with the Government standards and procedures set forth for this project.

Lunacon generally rents general construction equipment, industrial tools, pump and power generation equipment, trench shoring, scaffolding, climate control equipment, etc. as needed to complete the scope of work. Whether the project scope is commercial, residential, municipal, or a specialized service, we know the right equipment, tools and skilled personnel to get the job done. Equipment rental vs owning or leasing equipment offers many benefits. First, rental contract periods provide total flexibility because equipment can be rented as needed for any length of time. Second, rental equipment is work-ready, reliable and usually includes maintenance provisions and specialized mechanics typically keep the equipment in top condition. Third, we are able to apply the latest machinery and technology to our projects. And fourth, storage and transportation costs will not affect the project budget. All of these cost savings positively affect the project budget, which ultimately benefits our clients.

"In my 20 year career I have worked with many project managers, but I must say that Patricia Bonilla has by far been one of the most qualified. I observed Ms. Bonilla take over a project that was in trouble and near abandonment. Her strong leadership and management skills revitalized the project team, and through her efforts, managed to put the project back on track. Patricia's guidance set the tone and pace for what I considered to be a very effective team."

F. Antonio Rosabal, A1A, LEED AP, Principal - LIVS Associates

"During her tenure with the City of Fort Lauderdale, Patricia was responsible for the construction of multiple parks, several streetscape projects, fire stations, a renovation project of the War Memorial Auditorium, and the construction of a new cemetery administration building. Between May 2005 and September 2007, Patricia successfully managed projects valued at \$114 million."

Kathleen Gunn, Assistant City Manager - City of Fort Lauderdale

The SAFETY of our employees and customers is of the utmost importance to our company. All personnel operating heavy construction equipment and tools participate in safety trainings to understand the hazards involved in operating specific equipment.

As a certified 8(a) company with the U.S. Small Business Administration, Lunacon self-performs a minimum of 15% on projects that we participate in. Therefore, Lunacon has qualified personnel at all levels

capable to fulfill the tasks of self-performing the following scopes of work:

- Light Excavation
- Concrete foundations
- Concrete
- Masonry
- Rough carpentry
- Cleanup
- Demolition
- Temporary protection
- Light concrete finishing

Technical Resources

Available resources and equipment for contract performance include, but are not limited to, wireless and remote internet connections (LAN/WAN system availability), Dropbox, Microsoft Office 2007 Professional suite, Adobe InDesign, microsoft outlook, Avaya VOIP, cellular phones, in-office fax and Konica Bizhub copier with scan to email / scan to folder capabilities. The estimating software used includes Onscreen Takeoffs and RS Means. Lunacon's computer office automation capabilities include the ability to interface with Microsoft applications and the ability to move data electronically through the Internet, electronic mail, teleconferencing, desktop conferencing and "white board" technologies using VM Ware and Microsoft Terminal Services.

Tab (D) Project Drawings and Specifications

.....(Refer to Half Size Project Drawings and Specifications Provided)

Tab (E) Proposal Pricing



CITY OF MIAMI SPRINGS
AQUATIC FACILITY

BASE BID FORM

| | | |
|-------------|---|-----------------------------|
| Division 1 | General Requirements | \$ 392,708.00 |
| Division 2 | Sitework | \$ 51,000.00 |
| Division 3 | Concrete | \$ 399,897.00 |
| Division 4 | Masonry | \$ 102,844.00 |
| Division 5 | Metals | \$ 0.00 (Included In 13000) |
| Division 6 | Wood and Plastics | \$ 13,508.00 |
| Division 7 | Thermal and Moisture Protection | \$ 103,200.00 |
| Division 8 | Doors and Windows | \$ 89,237.00 |
| Division 9 | Finishes | \$ 214,309.00 |
| Division 10 | Specialties | \$ 73,531.00 |
| Division 11 | Equipment | \$ Not Used |
| Division 12 | Furnishings | \$ 16,074.00 |
| Division 13 | Special Construction – Swimming Pool | \$ 1,050,431.00 |
| Division 14 | Conveying Systems | \$ Not Used |
| Division 22 | Plumbing | \$ 147,500.00 |
| Division 23 | Heating, Ventilation and Air Conditioning | \$ 143,188.00 |
| Division 24 | Electrical | \$ 211,637.00 |
| Division 27 | IT/Communication | \$ 76,963.00 |
| Division 28 | Electronic Safety and Security | \$ 17,931.00 |
| Division 31 | Earthwork | \$ 284,699.00 |
| Division 32 | Exterior Improvements | \$ 165,303.00 |
| Division 33 | Utilities | \$ 111,965.00 |
| | Total Construction Cost | \$ 3,665,926.00 |
| | Design Fees | \$ 216,000.00 |
| | Contractor's Overhead and Profit | \$ 146,560.00 |
| | Payment and Performance Bond | *\$ 168,672.00 |
| | Total Construction Cost | \$ 4,197,157.00 |
| | * = 1.5% Art In Public Places Included in Line Item | |
| | Owner Contingency (5%) | \$ 209,858.00 |
| | Grand Total Cost | \$ 4,407,015.00 |

Additional Cost Breakdown

Provide complete cost for all work associated with each of these components

| | | |
|---|--------------------------------|-----------------|
| 1 | Pool Building | \$ 713,229.60 |
| 2 | Multipurpose Building | \$ 1,006,757.83 |
| 3 | Concessions Building | \$ 111,527.27 |
| 4 | Sitework/Exterior Improvements | \$ 785,991.30 |
| 5 | Pool/Pool Deck | \$ 1,579,651.00 |

**CITY OF MIAMI SPRINGS
AQUATIC FACILITY**

ALTERNATES

Refer to Specification Section 012300 Alternates for description of each item

| | | |
|--------------|--|---------------------------------------|
| Alternate 1 | Additional Pool Lane | \$ <u>0.00 (INCLUDED IN BASE BID)</u> |
| Alternate 2 | Playground | \$ <u>66,304.00</u> |
| Alternate 3 | Demolition of Existing Piles | \$ <u>0.00 (INCLUDED IN BASE BID)</u> |
| Alternate 4A | Option 1 - Large Pool Slide (Sheet AP-11) | \$ <u>229,181.00</u> |
| Alternate 4B | Option 2 - Medium Pool Slide (Sheet AP-12) | \$ <u>171,895.00</u> |
| Alternate 4C | Option 3 - Small Pool Slide (Sheet AP-12) | \$ <u>131,794.00</u> |
| Alternate 5A | Pool Furniture | \$ <u>272.00/EA</u> |
| Alternate 5B | Pool Furniture | \$ <u>96.00/EA</u> |
| Alternate 5C | Pool Furniture | \$ <u>9,547.00/EA</u> |
| Alternate 6 | Window Treatments | \$ <u>15,515.00</u> |
| Alternate 7A | Multipurpose Room Furniture | \$ <u>412.00/EA</u> |
| Alternate 7B | Multipurpose Room Furniture | \$ <u>291.00/EA</u> |
| Alternate 8 | Umbrella Canopy | \$ <u>5,882.00/EA</u> |

ALLOWANCES

Refer to Specification Section 012100 Allowances for description of each item

| | | |
|-------------|----------------------------|-----------------|
| Allowance 1 | Catering Kitchen Equipment | \$ <u>5,000</u> |
|-------------|----------------------------|-----------------|

UNIT PRICES

Refer to Specification Section 012300 Unit Prices for description of each item

| | | |
|--------------|--|------------------------|
| Unit Price 1 | Pool Deck - Cost/Square Foot | \$ <u>64.00/SF</u> |
| Unit Price 2 | Aluminum Fence - Cost/Linear Foot | \$ <u>50.00/LF</u> |
| Unit Price 3 | Chain Link Fence - Cost/Linear Foot | \$ <u>25.00/LF</u> |
| Unit Price 4 | Pool Cabana - Cost/Cabana | \$ <u>11,500.00/EA</u> |
| Unit Price 5 | Umbrella Canopy - Cost/Umbrella Canopy | \$ <u>5,882.00/EA</u> |
| Unit Price 6 | Pool Lockers - Cost/Locker | \$ <u>600.00/EA</u> |

OWNER PURCHASED/CONTRACTOR INSTALLED

Refer to Specification Section 012400 Schedule of Owner Purchased Items for each item

| | | |
|------|-------------------------|-----------------------|
| OP-1 | Pool Cabanas | \$ <u>1,300.00/EA</u> |
| OP-2 | Umbrellas Canopy | \$ <u>100.00/EA</u> |
| OP-3 | Wet Play Pool Equipment | \$ <u>5,000.00</u> |



Tab (F) Required Forms - Affidavits

(F.1) Insurance(s)

(F.2) Bonds

(F.3) Acknowledgement of Addendums



HOLD HARMLESS AND INDEMNITY CLAUSE

To the fullest extent permitted by law, rule, regulation, or other applicable governmental provisions,

CONTRACTOR “ Lunacon Construction Group, Corp. ” shall indemnify,
(Contractor Name)

defend and hold harmless the City of Miami Springs (“Owner”), and Project Manager, their representatives, officers, officials, and employees (“Indemnities”), from and against all claims, damages, losses, liens, causes of action, suits, judgments, costs or expenses, including but not limited to reasonable attorney’s fees (“Claims”), to the extent caused by the negligence, recklessness, or intentional wrongful misconduct of the Contractor and persons employed or utilized by the Contractor in the performance of the Contract.

**FAILURE TO COMPLETE, SIGN AND RETURN THIS FORM
MAY DEEM YOUR RESPONSE NON-RESPONSIVE**

ANTI-KICKBACK AFFIDAVIT

STATE OF FLORIDA }
} SS:
COUNTY OF MIAMI-DADE }

I, the undersigned, hereby duly sworn, depose and say that no portion of the sum herein RFP will be paid to any employees of the City of Miami Springs, its elected officials, and Lunacon Construction Group, Corp or its design consultants, as a commission, kickback, reward or gift, directly or indirectly by me or any member of my firm(s) or by an officer of the corporation.

By: Patricia Bonilla
Title: Patricia Bonilla, President

Sworn and subscribed before this
4 day of December, 2014



Julia Urbino
Notary Public, State of Florida

Julia Urbino
(Printed Name)

My commission expires: Jan 23, 2018

**FAILURE TO COMPLETE, SIGN AND RETURN THIS FORM
MAY DEEM YOUR RESPONSE NON-RESPONSIVE**

NON-COLLUSIVE AFFIDAVIT

State of)
) SS:
County of)

Patricia Bonilla, being first duly sworn, deposes and says that:

a) He/she is the Owner, (Owner, Partner, Officer, Representative or Agent) of Lunacon Construction Group, Corp., the Offeror that has submitted the attached Offer;

b) He/she is fully informed respecting the preparation and contents of the attached Offer and of all pertinent circumstances respecting such Offer;

c) Such Offer is genuine and is not collusive or a sham Offer;

d) Neither the said Offeror nor any of its officers, partners, owners, agents, representatives, employees or parties in interest, including this affiant, have in any way colluded, conspired, connived or agreed, directly or indirectly, with any other Offeror, firm(s), or person to submit a collusive or sham Offer in connection with the Work for which the attached Offer has been submitted; or to refrain from proposing in connection with such Work; or have in any manner, directly or indirectly, sought by person to fix the price or prices in the attached Offer or of any other Offeror, or to fix any overhead, profit, or cost elements of the Offer price or the Offer price of any other Offeror, or to secure through any collusion, conspiracy, connivance, or unlawful agreement any advantage against (Recipient), or any person interested in the proposed Work.

Signed, sealed and delivered in the presence of:

By: Frank Regueyra
Witness
Director of Business Development
Witness (Printed Name)

Patricia Bonilla
(Signature)
President
(Title)

**FAILURE TO COMPLETE, SIGN AND RETURN THIS FORM
MAY DEEM YOUR RESPONSE NON-RESPONSIVE**

Document A310™ – 2010

Conforms with The American Institute of Architects AIA Document 310

Bid Bond

CONTRACTOR:

(Name, legal status and address)

Lunacon Engineering Group, Corp.
16890 South Dixie Highway
Miami FL 33157

SURETY:

(Name, legal status and principal place of business)

Berkley Insurance Company
475 Steamboat Road
Greenwich CT 06830

Mailing Address for Notices

(Same as Above)

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

OWNER:

(Name, legal status and address)

City of Miami Springs, FL
201 Westward Drive
Miami Springs FL 33166

BOND AMOUNT: \$ 10% Ten Percent of Amount Bid

PROJECT:

(Name, location or address, and Project number, if any)

Design-Build Project for Miami Springs Aquatic Facility, 1401 Westward Drive, Miami Springs, Florida - RFP No. 01-14/15

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 26th day of November, 2014.

Lunacon Engineering Group, Corp.

(Principal)

(Seal)

By:

(Title)

Berkley Insurance Company

(Surety)

(Seal)

By:

(Title) Charles J. Nielson, Attorney-in-Fact

(Witness)

(Witness) Olga Iglesias



Instructions for Inquiries and Notices Under the Bond Attached to This Power

Berkley Surety Group is the affiliated underwriting manager for the surety business of: Acadia Insurance Company, Berkley Insurance Company, Berkley Regional Insurance Company, Carolina Casualty Insurance Company, Union Standard Insurance Company, Continental Western Insurance Company, and Union Insurance Company.

To verify the authenticity of the bond, please call (866) 768-3534 or email BSGInquiry@berkleysurety.com

Any written notices, inquiries, claims or demands to the surety on the bond to which this Rider is attached should be directed to:

**Berkley Surety Group
412 Mount Kemble Avenue
Suite 310N
Morristown, NJ 07960
Attention: Surety Claims Department**

Or

email BSGClaim@berkleysurety.com

Please include with all notices the bond number and the name of the principal on the bond. Where a claim is being asserted, please set forth generally the basis of the claim. In the case of a payment or performance bond, please identify the project to which the bond pertains.

CITY OF MIAMI SPRINGS



Purchasing Department
201 Westward Drive
Miami Springs, FL 33166-5259
Phone: (305) 805-5035
Fax: (305) 805-5018

Tammy Romero
romerot@miamisprings-fl.gov
Professional Services Supervisor

AMENDMENT 1 Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive REQUEST FOR PROPOSAL# 01-14/15

November 14th, 2014

Request for Proposal # 01-14/15, for Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive is amended as follows:

This addendum is issued to clarify the previously issued request for proposal documents and is hereby made a part of the contract documents. All requirements of the documents not modified herein shall remain in full force and effect as originally set forth.

The following are question(s) and answer(s) from the request for proposals and from the Pre-Bid conference held on **November 5th, 2014**.

1. **Question:** Who is the Project Manager with Bermello Ajamil for the project?
1. **Answer:** Mr. Jorge Ferrer is the Project Manager assigned to this project, however, because we are in a "Cone of Silence" with this project he may not be contacted until after an award is made.

2. **Question:** Do you have available the site plan for the project?
2. **Answer:** Yes, however per the Legal Notice, this Request for Proposal along with the Design Criteria package is available in PDF electronic format only upon written request to Tammy Romero via email at: romerot@miamisprings-fl.gov or the City's Purchasing Department at 201 Westward Drive, 1st floor, Miami Springs, Florida 33166. All requests must be accompanied by name, address, phone and fax number.

CITY OF MIAMI SPRINGS



*Purchasing Department
201 Westward Drive
Miami Springs, FL 33166-5259
Phone: (305) 805-5035
Fax: (305) 805-5018*

*Tammy Romero
romerot@miamisprings-fl.gov
Professional Services Supervisor*

AMENDMENT 2
Design-Build Project for Miami Springs Aquatic Facility
at 1401 Westward Drive
REQUEST FOR PROPOSAL# 01-14/15

December 2nd, 2014

Request for Proposal # 01-14/15, for Design-Build Project for Miami Springs Aquatic Facility at 1401 Westward Drive is amended as follows:

This addendum is issued to clarify the previously issued request for proposal documents and is hereby made a part of the contract documents. All requirements of the documents not modified herein shall remain in full force and effect as originally set forth.

The following are question(s) and answer(s) from the request for proposals.

1. **Question:** We respectfully request a Bid extension to December 11th, 2014. Please advise if the Bid due date extension can be granted?
1. **Answer:** Yes. Bid opening due date has been extended one additional week to December 11th, 2014 at 2:30PM.



LUNACON CONSTRUCTION GROUP - A WOMAN OWNED 8(A) SMALL BUSINESS
POC: FRANK REGUEYRA
DIRECTOR OF BUSINESS DEVELOPMENT

16890 S. DIXIE HIGHWAY, PALMETTO BAY, FLORIDA, 33157
PHONE: 786.293.0035 | FAX: 786.293.0333
E-MAIL: FREGUEYRA@LUNACONCORP.COM



AGENDA MEMORANDUM

Meeting Date: 1/12/2015

To: The Honorable Mayor Xavier Garcia and Members of the City Council

Via: Ron Gorland, City Manager *RG*
William Alonso, Asst. City Manager *WA*

From: Tammy Romero, Professional Services Supervisor *TR*

Subject: Architectural, Engineering, Planning, Design and Staff Support Services Recommendation and Discussion

On August 18, 2014, we advertised a Request for Qualifications (RFQ# 03-13/14) for Architectural, Engineering, Planning, Design and Staff Support Services. A mandatory pre-bid meeting was held on September 16th, 2014 with 30 firms in attendance (Attachment "A").

On October 2nd, the Request for Qualifications were due and 17 companies/firms responded (Attachment "B"). All responses were evaluated and deemed responsive (Attachment "C"), although two companies/firms must provide insurance and a copy of their State of Florida licenses and a third must acknowledge receipt of amendments 4 & 5 if awarded a contract.

As stated in the advertised RFQ, the City is primarily interested in firm(s) or individual(s) that can provide multiple services from within their organization as listed in the "Category of Services" listed in the RFQ (Attachment "D").

I created a few spreadsheets, the first is listed in alphabetical order (Attachment "E"), which represents the 17 responses to the trades/services they offer based on the category of services. The "P" indicates the responding firm will be the prime vendor for that category and "S" indicates that a sub-contractor will perform the service as hired and managed under the primes contract. The second spreadsheet (Attachment "F") is listed in order by number of trades offered by the firm (either as a prime or by their sub-consultant) which are the categories often used by the City. The third spreadsheet (Attachment "G") is listed by number of trades utilized regularly by the City Planner and Public Works Dept. The firms are listed by the number of trades performed by the prime versus utilizing their sub-contractors.

Based on Attachment "G", it is clear that 4 firms provide 8 of the major disciplines that the City anticipates utilizing over the course of the contract without the necessity to employ other contractors. The staff's recommendation is to allow these four (4) firms the opportunity to make presentations to Council and to narrow down the list to one firm so that staff can begin negotiating pricing. However, if Council feels that there is another worthy candidate, any additional firm can be included.

We request Council's direction on the following:

1. Agree to hear presentations from the recommended 4 firms?
2. Determine when the presentations should be scheduled? Date and time?
3. Decide how long to spend with each firm? Presentation time? Q&A session time?

Typically, in the past, we have arranged a 15-20 minute presentation time and 10-15 minute Q&A session for a total of 30 minutes for each.

PRE-BID CONFERENCE

RFP# 03/13/14

FOR ARCHITECTURAL, ENGINEERING, PLANNING, DESIGN AND STAFF SUPPORT SERVICES

September, 16, 2014 at 9:30 A.M.

① Name MANUEL DOCURRO Company CALVIN, GIORDANO & ASSOC. Phone 954-266-6494

Address 1800 ELLER DR SUITE 600 E-Mail mdocurro@cgsolutions.com

② Name Luis Rodriguez Company Cordova Rodriguez & Assoc Phone 786-287-2530

Address 6941 SW 176 Way Miramar FL 33332 E-Mail LRODRIGUEZ@CRAENGINEERING.COM

③ Name DERRICK DOUGLAS Company SYNALOVSKI ROMANIK SAME, LLC Phone 954. 961. 6806.

Address 1800 EVER DRIVE, FOOT LAUDERDALE FL 33311 E-Mail DDOUGLAS@SYNALOVSKI.COM.

④ Name MARIA C PALACIO Company WINGERTER LABORATORY INC. Phone

Address 1820 NE 144 ST. North MIAMI FL 33181 E-Mail maria@wingertertlaboratory.com

⑤ Name ALBERT ARAUDIN Company A. D. A. ENGINEERING, INC. Phone 305-551-4608

Address 8550 NW 33 ST STE 202, DORAL FL 33122 E-Mail AARAUDINJR@ADAENH.NET

⑥ Name Rosemary Canals Suarez Company Bermello Ajamil & Partners Phone 305 972-7882

Address 2601 South Bayshore Drive Miami, FL 33133 E-Mail rcanals@bermelloajamil.com

⑦ Name DOUGLAS TAYLOR Company CRAVEN THOMPSON ASSOC. INC. Phone 954 739 6400

Address 3563 NW 53 RD ST, FOOT LAUDERDALE FL 33309 E-Mail dtaylor@craventhompson.com

⑧ Name Jorge Ferrer Company Bermello Ajamil & Partners Phone 305-860-3775

Address 2601 S Bayshore Drive Suite 1000 Miami FL 33133 E-Mail jandferrer@bermelloajamil.com

PRE-BID CONFERENCE

RFP# 03/13/14

FOR ARCHITECTURAL, ENGINEERING, PLANNING, DESIGN AND STAFF SUPPORT SERVICES

September, 16, 2014 at 9:30 A.M.

8 Name **ROBERT SPATARO** Company **G3 ARCHITECTS** Phone **786.316-0455**

Address **1 SE 3RD AVE, Suite 2960, MIAMI 33131** E-Mail **RSPATARO@G3ARCH.COM**

9 Name **JOSE R. GONZALEZ** Company **UNIVERSAL ENGINEERING SCIENCES** Phone **786-531-0253**

Address **451 NE 189TH ST MIAMI FL 33179** E-Mail **JGONZALEZ@UNIVERSALENGINEERING.COM**

10 Name **I. Ilker UZUN** Company **CPH INC.** Phone **305 274 4805**

Address **1992 SW 1st ST MIAMI FL 33135** E-Mail **iuzun@cpncorp.com**

11 Name **CARA PASQUALE** Company **MILLER LEGG** Phone **954-436-7000**

Address **5747 N. Andrews Way, Ft. Lauderdale 33309** E-Mail **cpasquale@miller-legg.com**

12 Name **Anabel De Pena** Company **Indigo Service Corporation** Phone **305-858-7800**

Address **1900 SW 3rd Avenue MIAMI FL 33129** E-Mail **anabel@indigoservice.com**

13 Name **Stephanie Theard** Company **BCC Engineering Inc.** Phone **305.670.2350**

Address **7300 N. Kendall Drive #400 Miami, FL 33156** E-Mail **STheard@bcceng.com**

14 Name **Pat Mody** Company **Johnson Engineering, Inc** Phone **754-626-0123**

Address **6941 SW 196TH Ave Suite 12, Pembroke Pines, FL 33322** E-Mail **modys@johnsoneng.com**

15 Name **JAKE OZTMAN** Company **HAKS** Phone **305-698-3914**

Address **14400 NW 77th Ste 203 Miami Lakes, FL 33066** E-Mail **jozman@haks.net**

PRE-BID CONFERENCE

RFP# 03/13/14

FOR ARCHITECTURAL, ENGINEERING, PLANNING, DESIGN AND STAFF SUPPORT SERVICES

September, 16, 2014 at 9:30 A.M.

16 Name **MANUEL PEREZ-VICHO** Company **SOUTH EAST DESIGN INC.** Phone **305-871-1648**

Address **627 EIDRON DRIVE, MIAMI BEACH** E-Mail **MPEREZ@SEDAINC.COM**

17 Name **D. GOODMAN** Company **BEA ARCHITECTS INC** Phone **305 461 2053**

Address **3075 NW SOUTH RIVER DR, 33142** E-Mail **BEAMARKETING@BEAI.COM**

18 Name **TOM DECKER** Company **WOLFBERG ALVAREZ** Phone **305 666 5474**

Address **3233 AVIATION AVE** E-Mail **TDECKER@WOLFBERGALVAREZ.COM**

19 Name **Michael Major** Company **Chin Diesel** Phone **786-295-1548**

Address **1820 N.E. 144th St North Miami FL** E-Mail **Mike@Chindiesel.com**

20 Name **Ginger Lorenzo** Company **Langan Eng + Env. Services** Phone **786.264.7221**

Address **15150 NW 79 Court, Miami Lakes 33014** E-Mail **glorenzo@langan.com**

21 Name **DANIEL RAYMAT** Company **BCC ENGINEERING** Phone **305 670 2350**

Address **7300 N. KENDALL DRIVE STE 400 MIAMI FL 33156** E-Mail **DRAYMAT@BCCENG.COM**

22 Name **Steven Harrison** Company **Terracon Consultants Inc** Phone **954 703 1866**

Address **5371 NW 33 Ave #201 Ft. Lauderdale FL** E-Mail **sharrison@terracon.com**

23 Name **Arvind Kumbhar** Company **HP consultants Inc** Phone **305-596-2357**

Address **10220 SW 107 St Miami FL 33176** E-Mail **hpconsultants.net@earthlink.net**

net.

PRE-BID CONFERENCE

RFP# 03/13/14

FOR ARCHITECTURAL, ENGINEERING, PLANNING, DESIGN AND STAFF SUPPORT SERVICES

September, 16, 2014 at 9:30 A.M.

73) Name Deborah Martin Company Cartaya & Assoc. Arch. Phone 954-771-2724
Address 2400 E. Commercial Blvd, Ft. Lauderdale E-Mail dmartino@cartayaandassociates.com

74) Name David R. Rosa Company CSA Central, Inc. (CSA Group) Phone 305-461-5484
Address 6100 Blue Lagoon Dr. Suite 300 Miami, FL 33126-4695 E-Mail drrosa@csagroup.com

75) Name Jorge Gutierrez Company Jorge Gutierrez Architect Phone 954-804-3517
Address 1005 Kane Concourse, Ste 202, BHI, 33154 E-Mail JGUTIERREZ@JAGATA.com

76) Name Steve Zielnicki Company CRAIG A. SMITH & ASSOC Phone 561-314-4445
Address 7777 GLAZES RD Boca Raton 33434 E-Mail SteveZ@craigasmith.com

Name ARTHUR MILLER Company AMMANN & WHITNEY Phone 305-261-2006
Address 7270 NW 12th ST., ST 860 MIAMI FL 33126 E-Mail amiller@ammann-whitney.com

Name ERNESTO POLO Company AMMANN & WHITNEY, INC. Phone 305-261-2006
Address 7270 NW 12 STREET, SUITE 860 MIAMI FL 33126 E-Mail EPOLO@AMMANN-WHITNEY.COM

Name Eric Swanson Company The Mellgren Planning Group Phone (954) 475-3070
Address 3565 Nova Drive, Ste 110, Fort Lauderdale E-Mail eric@fmppgplanning.com

Name Pedro D. Gonzalez Company Baljet Environmental, Inc. Phone 305-598-0199
Address 10661 N Kendall Dr., Suite 218, Miami, FL 33176 E-Mail pgonzalez@baljet.com

PRE-BID CONFERENCE

RFP# 03/13/14

FOR ARCHITECTURAL, ENGINEERING, PLANNING, DESIGN AND STAFF SUPPORT SERVICES

September, 16, 2014 at 9:30 A.M.

(15) Name Elizabeth Mesa Company HAKS Phone (305) 698-3914

Address 14400 NW 77 Court. #203 Miami Lakes, FL E-Mail EMESA@HAKS.NET

(20) Name JAVIER RODRIGUEZ Company R J BENDER & Co. INC. Phone 954 680 7771

Address 6861 SW 196 AVE SUITE 302 E-Mail J.RODRIGUEZ@RJBENDER.COM

Name Company Phone

Address E-Mail

Name Company Phone

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Name Company Phone

Address E-Mail

Request for Qualifications Opening

RFQ# 03-13/14

ARCHITECTURAL, ENGINEERING, PLANNING, DESIGN AND STAFF SUPPORT SERVICES

Opened October, 2nd, 2014 at 2:30 P.M.

PRIME VENDOR NAME OR INDIVIDUAL:

1. Langan

2. B & A

3. Cartaya & Assoc.

4. Terracon

5. Calvin Giorodano & Assoc.

6. Craig a. Smith & Assoc.

7. Southeast Design Assoc Inc.

8. ADA Engineering

9. Wingerter Lab. Inc.

10. Cordova Rodriguez & Assoc.

11. CPH Engineers Inc.

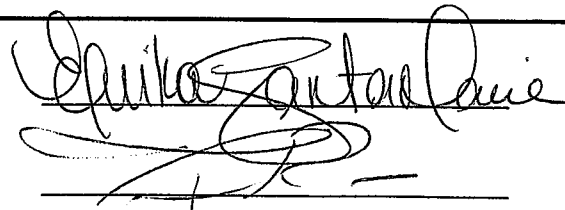
12. Miller Legg & Assoc.

13. Ammann Whitney Inc.

14. G3 Architecture Interiors Planning

15. RJ Behar & Company Inc.

Witnessed by:



Request for Qualifications Opening
RFQ# 03-13/14

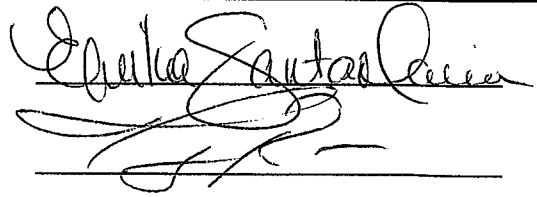
ARCHITECTURAL, ENGINEERING, PLANNING, DESIGN AND STAFF SUPPORT SERVICES

Opened October, 2nd, 2014 at 2:30 P.M.

PRIME VENDOR NAME OR INDIVIDUAL:

16. Craven Thompson & Assoc. Inc.

17. Synalovski Romanik Saye & Assoc.

Witnessed by: 

RFQ RESPONSES IN ALPHA ORDER

| NAME OF RFQ: Architectural, Engineering, Planning, Design & Staff Support Services | | | | | | | | | | |
|---|--|-----------------|-------------------------------------|------------------------------|------------------|---------------------------|---|--|--------------------------------|--------------------------------|
| Name of Proposer | # of Trades based on RFP response | Location | Years of Experience in field | RFQ Contents Complete | Amendment | Proof of Insurance | Copy of State of Florida License | Subcontractors | Governmental Experience | Additional Comments |
| ADA Engineering, Inc. | 8 | Doral | 33 | √ | √ | √ | √ | 2 - Longitude Surveyors & Underground Utility Locators, HR Engineering | √ | 29 employees, 1 office |
| Ammann & Whitney | 14 | Miami | 30- including former names | √ | √ | X | X | 6 - Caltran Engineering, Geosol, Fernandez-Beraud, Inc., Hadonne Corp., Civil Works, PSI | √ | 30 employees, 1 office |
| Bermello Ajamil & Partners, Inc. | 12 | Miami | 75 | √ | √ | √ | √ | 7 - Rib US Cost, Nova Consulting, Louis Aguirre & Assoc., Geosol, MG Vera & Assoc., DDA Engineers, Traf Tech Engineering/ KBP Consulting | √ | 70 employees, several office's |
| Calvin, Giordano & Assoc. | 16 | Ft. Lauderdale | 77 | √ | √ | √ | √ | 7 - Synalovski, Romanik, Saye, Alan Gerwig & Assoc., Nutting Engineers, American Realty Consultants, Public Resources Mgmt. Group, Southern Resource Mapping, Delta Consulting | √ | 4 offices |
| Cartaya & Associates | 12 | Ft. Lauderdale | 35 | √ | √ | √ | √ | 5 - TRC Worldwide Engineering, Delta Consulting Engineers, Curtis & Rogers Design, CMS, | √ | 23 employees, 1 office |
| Cordova Rodriguez & Assoc. | 10 | Pembroke Pines | 14 | √ | √ | √ | √ | 3 - Johnson Engineering, Hammond & Assoc., Tierra South Florida | √ | 1 office |
| CPH, Inc. | 13 | Miami | 32 | √ | √ | √ | √ | None | √ | 210 employees, 11 offices |
| Craven Thompson & Assoc. | 9 | Ft. Lauderdale | 53 | √ | √ | √ | √ | None | √ | 60 employees, 1 office |

RFQ RESPONSES IN ALPHA ORDER

| NAME OF RFQ: Architectural, Engineering, Planning, Design & Staff Support Services | | | | | | | | | | |
|---|--|-----------------|-------------------------------------|------------------------------|------------------|---------------------------|---|--|--------------------------------|--|
| Name of Proposer | # of Trades based on RFP response | Location | Years of Experience in field | RFQ Contents Complete | Amendment | Proof of Insurance | Copy of State of Florida License | Subcontractors | Governmental Experience | Additional Comments |
| G3 | 2 | Miami | 20 | √ | 1-3 only | √ | √ | 5 - GF Consultings Engineers, Lewis & Nielsen Design, Bhamani Ford & Assoc., RJ Behars & Co., Nutting Engineers | Mainly in NY | 1 local office |
| Craig A. Smith | 4 | Miami | 34 | √ | √ | X | X | None | √ | 40 employees, 3 offices |
| Langan | 8 | Miami Lakes | 40 | √ | √ | √ | √ | None | √ | 35 employees, 3 offices |
| Miller Legg | 9 | Doral | 50 | √ | √ | √ | √ | None | √ | 65 employees, 1 office |
| RJ Bejar | 5 | Miami Lakes | 15 | √ | √ | √ | √ | None | √ | 43 employees, 3 offices |
| Southeast Design Assoc. Inc. | 6 | Miami Springs | 22 | √ | √ | √ | √ | 3 - Eastern Engineering, JMM Consulting Engineers, Universal Engineering Sciences | √ | 1 office |
| Synalovski Romanik Saye, LLC (SRS) | 2 | Ft. Lauderdale | 26 | √ | √ | √ | √ | 1 - CMS | √ | 15 employees, 1 office |
| Terracon | 2 | Miami Lakes | 49 | √ | √ | √ | √ | 9 - Enviro-Drill, JAEE Environmental Services, SES Environmental Services, Diversified Prof. Serivces, Petro Solutions, EMSL Analytical, Pace Analytical, Test Aemrica, TPT Construction | √ | 70 employees, 10 Florida offices Specializes in Inspections & Testing |
| Wingerter | 1 | North Miami | 65 | √ | √ | √ | √ | None | √ | 26 employees, 1 office Specializes in Inspections & Testing |

| | Category of Services | Applicable to our response | Not Applicable to our response |
|-----|---|----------------------------|--------------------------------|
| 1. | A.D.A Engineering | | |
| 2. | Aerial Surveying & Photogrammetric | | |
| 3. | Appraisers | | |
| 4. | Architects/Architecture Design | | |
| 5. | Building Interior and Exterior Renovations and Repairs | | |
| 6. | Civil Engineers | | |
| 7. | Construction Administration | | |
| 8. | Cost Estimating | | |
| 9. | Drainage Systems/ Storm water/ Underground utilities/water resources | | |
| 10. | Energy Savings/Management | | |
| 11. | Environmental Engineer | | |
| 12. | Electrical | | |
| 13. | Geographic Information System (GIS) | | |
| 14. | Geotechnical Engineers | | |
| 15. | Highway/ Bridge | | |
| 16. | Historical Restoration | | |
| 17. | HVAC/Plumbing | | |
| 18. | Land Development | | |
| 19. | Land Surveying/Mapping | | |
| 20. | Landscape Architect/ Landscaping Design | | |
| 21. | Materials Testing and Inspections | | |
| 22. | Mechanical Engineer/Mechanical Upgrades and Replacements | | |
| 23. | Multi-disciplinary Engineers | | |
| 24. | New Construction | | |
| 25. | Project Management | | |
| 26. | Public utilities | | |
| 27. | Structural Engineers/Structural Repairs | | |
| 28. | Threshold Building Inspections | | |
| 29. | Traffic/ Roadways | | |
| 30. | Transportation Engineers | | |
| 31. | Utility Rate Studies/Utility Systems | | |
| 32. | Video Services | | |
| 33. | Redevelopment Consulting | | |

Architectural, Engineering, Planning, Design and Staff Support Services- Based on the RFQ Category of Services

| | # of trades/RFQ | A.D.A Engineering | Aerial Surveying & Photogrammetric | Appraisers | Architects/ Architecture Design | Building Interior and Exterior Renovations and Repairs | Civil Engineers | Construction Administration | Cost Estimating | Drainage Systems / Storm water/ Underground utilities/water resources | Energy Savings/ Management | Environmental Engineer | Electrical | Geographic Information System (GIS) | Geotechnical Engineers | Highway/ Bridge | Historical Restoration | HVAC/ Plumbing | Land Development | Land Surveying/Mapping Design | Landscape Architect/ Landscaping | Materials Testing and Inspections | Mechanical Engineer/Mechanical Upgrades and Replacements | Multi-disciplinary Engineers | New Construction | Project Management | Public utilities | Structural Engineers/Structural Repairs | Threshold Building Inspections | Traffic/ Roadways | Transportation Engineers | Utility Rate Studies/Utility Systems | Video Services | Redevelopment Consulting | | |
|---|-----------------|-------------------|------------------------------------|------------|---------------------------------|--|-----------------|-----------------------------|-----------------|---|----------------------------|------------------------|------------|-------------------------------------|------------------------|-----------------|------------------------|----------------|------------------|-------------------------------|----------------------------------|-----------------------------------|--|------------------------------|------------------|--------------------|------------------|---|--------------------------------|-------------------|--------------------------|--------------------------------------|----------------|--------------------------|---|---|
| ADA Engineering | 17 | P | | | | P | P | P | P | | | P | P | S | P | | | P | S | | | | P | P | P | P | | | P | P | | | | | | |
| Ammann & Whitney | 27 | P | | | P | P | P | P | S | P | P | P | | S | P | P | P | S | S | S | S | S | P | P | P | S | P | P | S | P | S | | | | | |
| B&A | 21 | | | | P | P | P | S | P | | S | S | | S | | P | S | P | S | P | | S | | P | P | | S | S | S | | | | | P | | |
| Calvin, Giordano & Assoc. | 31 | P | S | S | S | P | P | P | P | S | P | P | P | S | | P | S | P | P | P | S | P | P | P | P | S | S | P | P | S | | | | P | | |
| Cartaya & Assoc. | 22 | P | | | P | P | S | P | S | S | P | S | | S | P | S | | | S | | S | S | P | P | P | S | S | S | S | | | | | S | | |
| Cordova Rodriguez & Assoc. | 20 | | | | | P | P | P | P | | S | S | S | S | | | S | P | S | S | S | S | | P | P | P | | | S | S | | | | | P | |
| CPH, Inc. (No Subs) | 19 | P | | | P | P | P | | P | | | P | | | P | | P | P | P | P | | P | | P | P | P | P | | P | P | | | | | | |
| Craven Thompson & Assoc. (No Subs) | 17 | P | | | | P | P | P | P | | | | P | | | | | P | P | P | | | | P | P | P | | | P | P | P | | | | P | |
| Craig A. Smith (No Subs) | 12 | | | | | P | P | P | P | | | | | | P | | | P | P | | | | | P | P | P | | | | | P | | | | | |
| G3 | 4 | | | | P | P | P | | | | | | | | | P | | | | | | | | | | | | | | | | | | | | |
| Langan (No Subs) | 17 | P | | | | P | P | P | | P | | | P | P | P | P | | | | | | | | P | P | P | | | P | P | | | | | | P |
| Miller Legg (No Subs) | 15 | P | | | | P | P | | P | | | | P | | | | | P | P | P | | | | P | P | P | | | P | P | | | | | | P |
| RU Bejar (No Subs) | 9 | P | | | | P | P | P | P | | | | | | P | | | | | | | | | | | | | | P | P | P | | | | | |
| Southeast Design | 6 | | | | P | P | S | | | | | | | S | | | | | | | | S | | | | | S | | | | | | | | | |
| Synalovski Romanik Saye, LLC (SRS) | 8 | | | | P | | P | S | | P | | | | | P | | P | | | | | | | P | | | | | | | | | | | | P |
| Terracon (Specializes in Inspections) | 5 | | | | | P | | | | | P | | | | | | | | | | P | | | | | | | | P | | | | | | | |
| Wingertter (No Subs) (Specializes in Inspections) | 3 | | | | | | | | | | | | | P | | | | | | | | | | | | | | P | | | | | | | | |

P= Prime
S= Sub-contractor

Listing of all Trade Services Authorized by Prime Responders and Subcontractors

Architectural, Engineering, Planning, Design and Staff Support Services

| | # of trades based on most used by the City | A.D.A Engineering | Appraisers | Architects/ Architecture Design | Building Interior and Exterior Renovations and Repairs | Civil Engineers | Drainage Systems/ Storm water/ Underground utilities/water resources | Geotechnical Engineers | HVAC/ Plumbing | Land Surveying/Mapping | Landscape Architect/ Landscaping Design | Mechanical Engineer/Mechanical Upgrades and Replacements | Multi-disciplinary Engineers | Structural Engineers/Structural Repairs | Traffic/Roadways | Transportation Engineers | Redevelopment Consulting |
|--|--|-------------------|------------|---------------------------------|--|-----------------|--|------------------------|----------------|------------------------|---|--|------------------------------|---|------------------|--------------------------|--------------------------|
| Calvin, Giordano & Assoc. | 16 | P | S | S | S | P | P | S | S | P | P | P | P | S | P | P | P |
| Ammann & Whitney | 14 | P | | P | P | P | S | S | P | S | S | P | P | P | S | P | |
| CPH, Inc. (No Subs) | 13 | P | | P | P | P | P | | P | P | P | P | P | P | P | P | |
| Bermello Ajamil & Partners, Inc. | 12 | | | P | P | P | P | S | S | S | P | S | | S | S | | P |
| Cartaya & Assoc. | 12 | P | | P | P | S | S | | S | | S | S | P | S | S | | S |
| Cordova Rodriguez & Assoc. | 10 | | | | | P | P | S | S | S | S | S | | | S | S | P |
| Craven Thompson & Assoc. (No Subs) | 9 | P | | | | P | P | | | P | P | | P | | P | P | P |
| Miller Legg (No Subs) | 9 | P | | | | P | P | | | P | P | | P | | P | P | P |
| ADA Engineering | 8 | P | | | | P | P | S | | S | | | P | | P | P | |
| Langan (No Subs) | 8 | P | | | P | P | P | P | | | | | | | P | P | P |
| Southeast Design | 6 | | | P | P | S | | S | | | | S | | S | | | |
| RJ Bejar (No Subs) | 5 | P | | | | P | P | | | | | | | | P | P | |
| Craig A. Smith (No Subs) | 4 | | | | | P | P | | | P | | | P | | | | |
| G3 | 2 | | | P | P | | | | | | | | | | | | |
| Synalovski Romanik Saye, LLC (SRS) | 2 | | | P | | | | | | | | | | | | | P |
| Terracon (Specializes In Inspections) | 2 | | | | P | | | P | | | | | | | | | |
| Wingerter (No Subs) (Specializes in Inspections) | 1 | | | | | | | P | | | | | | | | | |

P= Prime

S= Sub-contractor

**Listing By Utilized Trades Performed By Prime Responders
Architectural, Engineering, Planning, Design and Staff Support Services**

| Name of Firms | # of trades performed by Prime | # of trades to be performed by primes sub-consultants | A.D.A Engineering | Civil Engineers | Drainage / Storm water/ Underground utilities/water resources | Land Surveying/Mapping | Landscape Architect/ Landscape Design | Multi-disciplinary Engineers | Traffic/Roadways | Transportation Engineers |
|---|---------------------------------------|--|--------------------------|------------------------|--|-------------------------------|--|-------------------------------------|-------------------------|---------------------------------|
| CPH, Inc. (No Subs) | 8 | 0 | P | P | P | P | P | P | P | P |
| Craven Thompson & Assoc. (No Subs) | 8 | 0 | P | P | P | P | P | P | P | P |
| Miller Legg (No Subs) | 8 | 0 | P | P | P | P | P | P | P | P |
| Calvin, Giordano & Assoc. (Subs for other Categories) | 8 | 0 | P | P | P | P | P | P | P | P |
| ADA Engineering | 6 | 1 | P | P | P | S | | P | P | P |
| Langan (No Subs) | 5 | 0 | P | P | P | | | P | P | |
| Ammann & Whitney | 4 | 4 | P | P | S | S | S | P | S | P |
| Bermello Ajamil & Partners, Inc. | 3 | 2 | | P | P | S | P | | S | |
| Cartaya & Assoc. | 2 | 3 | P | S | S | | S | P | S | |
| Cordova Rodriguez & Assoc. | 2 | 4 | | P | P | S | S | | S | S |
| RJ Bejar (No Subs) | 5 | 0 | P | P | P | | | | P | P |
| Craig A. Smith (No Subs) | 4 | 0 | | P | P | P | | P | | |
| Southeast Design | 0 | 1 | | S | | | | | | |
| G3 | 0 | 0 | | | | | | | | |
| Synalovski Romanik Saye, LLC (SRS) | 0 | 0 | | | | | | | | |
| Terracon (Specializes in Inspections) | 0 | 0 | | | | | | | | |
| Wingertter (No Subs) (Specializes in Inspections) | 0 | 0 | | | | | | | | |

P= Prime

S= Sub-contractor