



ZONING AND PLANNING

MONDAY, JANUARY 4, 2016

6:30 P.M.

CITY HALL - COUNCIL CHAMBERS



CITY OF MIAMI SPRINGS, FLORIDA

ZONING AND PLANNING BOARD

Chairman Manuel Pérez-Vichot
Vice Chair Ernie Aloma
Board member Bob Calvert

Board member Bill Tallman
Board member Juan Molina
Alternate Alejandro J. Gonzalez

AGENDA
Regular Meeting
Monday, January 4, 2016
6:30 p.m.
City Hall - Council Chambers
201 Westward Drive – Miami Springs

1. CALL TO ORDER AND ROLL CALL

2. APPROVAL OF MINUTES

A) August 4, 2015

3. SWEARING IN OFF ALL WITNESSES AND ZONING AND PLANNING DIRECTOR

4. NEW BUSINESS

A) **CASE # 01-ZP-16**
CHRIS DESAI, MIAMI AIRPORT LODGING, LLC
3449 N.W. 42 AVENUE
ZONING: ABRAHAM TRACT DISTRICT
LOT SIZE: 80,242 SQ. FT.

Applicant is requesting site plan approval in order to construct a new 127 room hotel.

5. ADJOURNMENT

The decisions of the Zoning & Planning Board may be appealed to the Board of Appeals pursuant to Code Section 150.113. Any person appealing any decision may need to ensure that a verbatim record is made of the proceedings, which record includes the testimony and evidence upon which the appeal is made. (F.S. 286.0105)



City of Miami Springs, Florida

The regular meeting of the Miami Springs Zoning and Planning Board was held on Tuesday, August 4, 2015 in the Council Chambers at City Hall following the Board of Adjustment meeting.

1. CALL TO ORDER AND ROLL CALL

The meeting was called to order at 6:32 p.m.

Present were: Chairman Manuel Pérez-Vichot
Vice Chairman Ernie Aloma
Bill Tallman
Bob Calvert
Juan Molina

Also Present: City Attorney Jan K. Seiden
Planning and Zoning Director Chris Heid
Secretary to the Board Elora Sakal

2. APPROVAL OF MINUTES OF REGULAR MEETING:

Minutes of the February 2, 2015 were approved as written.

Board member Tallman moved to approve the minutes as written. Vice Chair Aloma seconded the motion, which passed unanimously on voice vote.

3. NEW BUSINESS

Board Secretary Sakal swore in the City Planner, the applicants or representatives of the applicants who were going to testify should the Board have any questions.

- A) **02-ZP-15**
SALVATORE NATOLI, SUCRE, LLC
4909 N.W. 36 STREET
Zoning: NW 36 ST. DISTRICT
Lot Size: N/A

Applicant is seeking the vacation of a portion of a city owned rights-of-way.

Planning and Zoning Director Heid read his recommendation to the Board. He said that the Public Works Director visited the site with him and said that he would still be able to continue to maintain adequate trash services in the alley. Planning and Zoning Director Heid commented that the largest condition is that there will be a unity of title on this property. If the City does not abandon the streets, there are three separate pieces of land they can easily sell those pieces off. He wants to ensure that by taking the rights of way out of there and combining it to one large piece of land and putting a unity of title on it will guarantee that it will remain one piece of land. The unity of title is not necessarily forever and the applicant and the City will be parties to that unity and if at some point they feel that they want to sell a piece separately that is certainly possible but the City would have to agree to it.

City Attorney Seiden clarified a statement on the recommendation. He said that a street and an alley are not owned by the City. It describes it as being owned by the City but the City does not own it. The City has been given dedicated rights pursuant to plats and other documentation when these streets were sub-divided out. The City has a right to use it and have access to it and transport over it. By approving this application, the process would require that a resolution be added to the public records where the City would give up its right to the dedication in exchange for the conditions that were prescribed by the planner.

Discussion ensued regarding pedestrian access from the North side.

City Attorney Seiden stated that the site plan for this project will come to the Zoning and Planning Board should the Council approve the vacation.

Attorney Santiago Echemendia of 201 S. Biscayne Blvd. introduced his associate, the owners of the building, the architect and a Representative of the Wyndham Hotel. He said that they agree with all of the conditions.

Architect Emmanuel Ortiz of 11501 N.E. 10 Avenue explained that in terms of sidewalk, they are creating an urban development. What is being created is a plaza along 36 Street that will provide restaurants and commercial retail. He commented that in terms of the access, they will be keeping LaVilla Drive as the main access to the building and the secondary access will be Minola Drive.

Discussion ensued regarding a wider sidewalk.

Vice Chair Aloma moved to approve the request with the conditions and the amendment to include Miami Dade Fire Department made by Planning and Zoning Director Heid. Board member Tallman seconded the motion which carried unanimously on voice vote.

4. ADJOURN

There was no further business to discuss and meeting was duly adjourned at 6:56 p.m.

Respectfully submitted:

Elora R. Sakal
Board Secretary

Adopted by the Board on
this ___ day of _____, 2014.

Manny Perez-Vichot, Chair

Words ~~stricken through~~ have been deleted. Underscored words represent changes. All other words remain unchanged.

"The comments, discussions, recommendations and proposed actions of City Citizen Advisory Boards do not constitute the policy, position, or prospective action of the City, which may only be established and authorized by an appropriate vote or other action of the City Council".

CASE NO. 01-ZP-16

HAMPTON INN

**CHRIS DESAI,
MIAMI AIRPORT LODGING, LLC**

3449 NW 42 AVENUE

ZONING AND PLANNING BOARD

MEETING: 01-04-2016

CITY OF MIAMI SPRINGS PLANNING DEPARTMENT



201 Westward Drive
Miami Springs, FL 33166-5289
Phone: (305) 805-5030
Fax: (305) 805-5036

MEMORANDUM

TO: Zoning & Planning Board
FROM: Christopher Heid, City Planner
DATE: January 4, 2016
SUBJECT: Application for Site Plan approval for the construction of a hotel.
CASE # 1-ZP-16

APPLICANT: Miami Airport Lodging, LLC

ADDRESS: 3449 NW 42 Avenue

REQUEST: Applicant is requesting site plan approval for the construction of a 73,484 square foot, 127 room hotel.

THE PROPERTY: The property is roughly triangular shaped, although truncated on the east end. The parcel has approximately 274 of frontage on the Le Jeune Road frontage road, and contains 80,240 square feet, or 1.84 acres.

THE PROJECT: The applicant is proposing the construction of a five story hotel with 127 rooms, and a total building size of 73,484 square feet. (FAR of 0.015).

The site contains 93 surface parking spaces, in excess of that required, as well as a swimming pool, CBS trash enclosure and a entry porte cochere.

The ground floor of the building contains the lobby, front desk, a breakfast area, meeting and fitness rooms, and seven guest rooms. Floors two through five have typical floor plans with thirty rooms on each floor.

The building is of CBS construction, with a simple, but pleasing architectural style with scored stucco bands, fixed aluminum windows and a decorative stone veneer on the first floor, rising to the second or third floor in some locations for additional visual interest. The stone veneer also wraps the columns of the welcoming porte cochere. A decorative stucco parapet at the roofline further enhances the design, and is of sufficient height to screen all rooftop equipment.

ANALYSIS: The proposed hotel would replace an existing thirty year old, one story restaurant of 6,854 square feet, clearly not the highest and best use of the property. In its place would be a five story, 73,484 square foot hotel, more fully realizing the parcels potential, adding a new hotel to the City's inventory, while enhancing the Abraham Tract neighborhood specifically, and the City generally.

In addition, the hotel would provide numerous short term construction jobs, long term hotel jobs, and benefit other hotel service providers.

RECOMMENDATION: It is recommended that the request for site plan approval be granted, subject to the following condition.

1. Plans shall substantially comply with those submitted, as follows:
 - Survey, by Pulice Land Surveyors, Inc. dated March 3, 2015
 - Sheet SP-1, Architectural Site Plan, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet SP-2, Pool, Enlarged Plan & Details, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet A-1.1, Floor Plan Level 1, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet A-1.2, Floor Plan Level 2, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet A-1.3, Floor Plan Level 3-5, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet A-2.1, Roof Plan, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet A-4.1, Exterior Elevations, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet A-4.2, Exterior Elevations, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet A-5.1, Building Sections, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet A-5.2, Building Sections, by Phillips Architects, dated, signed and sealed November 5, 2015.
 - Sheet LP-1, Landscape Plan, by Phillips Architects, dated October 16, 2015, revised on November 5, 2015, and signed and sealed N.D.
 - Sheet C-3, Paving-Grading-Drainage Plan and Notes, by Consulting Engineering & Science, INC., dated June 22, 2015, signed and sealed November 4, 2015.
 - Sheet C-7, Water & Sewer Plan, by Consulting Engineering & Science, INC., dated July 31, 2015, signed and sealed November 4, 2015.

Substantial compliance shall be at the sole determination of the City.

2. All curbing shall be Miami-Dade County Type "D".
3. Any freestanding sign must be a monument type only, with a CBS base incorporating the accent stone used in the hotel building.
4. All wall signage shall be of flush mounted channel letters only.
5. Parapet shall be of sufficient height to screen all rooftop equipment, excluding stair and elevator towers.
6. Landscape plan shall be extended to include the frontage road swale area.
7. The design and construction of the proposed retaining wall shall be reviewed and approved by staff prior to the issuance of a building permit.



**ZONING AND PLANNING BOARD
CITY OF MIAMI SPRINGS, FLORIDA**

PETITION FOR A HEARING BEFORE THE ZONING & PLANNING BOARD

OFFICIAL USE ONLY

Case No. : _____ -ZP- _____ Date: _____ Fees Paid/ Receipt No. : _____

Date hearing is advertised: _____ Date set for Public Hearing: _____

The owner and/or his/her agent has _____ has not _____ submitted a petition regarding the subject within the last six months.

(I) (We) CHRIS DESAI of 3449 NW 42ND AVE.
Owners Name Address Petition Requested For

Hereby petition the City of Miami Springs, Florida, to review the instant petition for Zoning and Planning approval on the following legally described property:

The legal description is _____
Lot(s) Block Subdivision

The subject property is located at 3449 NW 42ND AVE.

Interest of applicant to the premises affected: OWNER.
(Owner /Lessee/ Agent)

Lot Size: _____ Area of subject property: 80242 Sqft.
Square feet or acres

Number of street frontage & name of street(s): LEJEUNE FRONTAGE RD.

Type of use and improvement proposed (state also whether new structures are to be built, existing structures used, or additions made to existing buildings): NEW 5 STORY, 127

ROOM HOTEL. BRAND: HAMPTON INN. INCLUDES NEW LANDSCAPING

(305) 747-6153

Daytime Phone Number

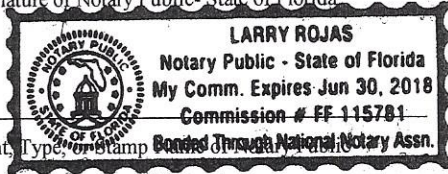
Daytime Phone Number

The contents of this Petition are Sworn to and subscribed before me this 16th day of DECEMBER, 2015.

The contents of this Petition are Sworn to and subscribed before me this _____ day of _____, 20_____.

Signature of Notary Public- State of Florida

Signature of Notary Public- State of Florida



Print, Type, or Stamp Name of Notary Public

Commission Expiration Date: _____
Personally known to me: _____
Produced Identification: _____

Commission Expiration Date: _____
Personally known to me: _____
Produced Identification: _____

If you are completing this application as an agent of the subject property owner, please complete the following:

State of Florida:
County of Miami-Dade:

(I) (We) _____, being duly sworn, depose and say that I/we serve as _____ for the owner(s) in making this petition and that the owner(s) have authorized me/us to act in this capacity. I/We have familiarized myself/ourselves with the rules and regulations of the Zoning and Planning Board with respect to preparing and filling this petition and that the foregoing statements contained herein and other information attached hereto, present the arguments in behalf of the petition herein requested to the best of my/our ability and that the statements and information referred to above are, in all respects, true and correct to the best of my/our knowledge and belief.

Signature of Agent

Authorization Signature of Owner

Printed Name of Agent

Printed Name of Owner

Daytime Phone Number

Daytime Phone Number

The contents of this Petition are Sworn
to and subscribed before me this _____
day of _____, 20_____.

Signature of Notary Public- State of Florida

Print, Type, or Stamp Name of Notary Public

Commission Expiration Date: _____
Personally known to me: _____
Produced Identification: _____

The contents of this Petition are Sworn
to and subscribed before me this _____
day of _____, 20_____.

Signature of Notary Public- State of Florida

Print, Type, or Stamp Name of Notary Public

Commission Expiration Date: _____
Personally known to me: _____
Produced Identification: _____

Miami Airport Lodging LLC

3785 NW 82nd Ave Doral, FL 33166
(305) 592-3393

City of Miami Springs
Zoning and Planning Board
201 Westward Drive
Miami Springs, FL 33166

Subject: Miami Airport Lodging, LLC - Letter of Intent for Proposed Improvement at Property Located at 3449 NW 42nd Ave Miami, FL.

Dear Mr. Heid:

This shall constitute the letter of intent on behalf of Miami Airport Lodging, LLC (the "Applicant"), for its application to the Miami Springs Zoning and Planning Board.

The Property is currently zoned Commercial Arterial which provides for uses that are commercial in nature and that are in close proximity to major roadways. The Applicant intends to develop the Property into a hotel. The proposed development is wholly compatible with the uses surrounding the Property.

This application, if approved, will allow for the Applicant to redevelop the Property and bring much needed new commercial use, employment and esthetic improvement to this aged and underdeveloped lot.

We thank you in advance for our attention and ask for your favorable consideration of this application. Should you have any questions or require additional information, please contact me directly.

Sincerely Yours,



Chris Desai



OFFICE OF THE PROPERTY APPRAISER

Summary Report

Generated On : 12/23/2015

Property Information	
Folio:	05-3129-000-0010
Property Address:	3449 NW 42 AVE Miami Springs, FL 33142-5628
Owner	MIAMI AIRPORT LODGING LLC
Mailing Address	3785 NW 82 AVE #204 MIAMI, FL 33166 USA
Primary Zone	6200 COMMERCIAL - ARTERIAL
Primary Land Use	2111 RESTAURANT OR CAFETERIA : RETAIL OUTLET
Beds / Baths / Half	0 / 0 / 0
Floors	1
Living Units	0
Actual Area	Sq.Ft
Living Area	Sq.Ft
Adjusted Area	6,854 Sq.Ft
Lot Size	80,242 Sq.Ft
Year Built	1985



Assessment Information			
Year	2015	2014	2013
Land Value	\$1,283,872	\$1,283,872	\$1,283,872
Building Value	\$597,108	\$519,128	\$590,746
XF Value	\$111,706	\$0	\$114,766
Market Value	\$1,992,686	\$1,803,000	\$1,989,384
Assessed Value	\$1,992,686	\$1,803,000	\$1,989,384

Benefits Information				
Benefit	Type	2015	2014	2013
Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).				

Short Legal Description
29 53 41 1.84 AC
COMM AT NW COR OF NE1/4 OF SEC TH
E50FT S1307.89FT E69.86FT NELY AD
114.14FT N130.20FT E51FT FOR POB
TH N70.12FT NELY AD 214.30FT S 66

Taxable Value Information			
	2015	2014	2013
County			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,992,686	\$1,803,000	\$1,989,384
School Board			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,992,686	\$1,803,000	\$1,989,384
City			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,992,686	\$1,803,000	\$1,989,384
Regional			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,992,686	\$1,803,000	\$1,989,384

Sales Information			
Previous Sale	Price	OR Book-Page	Qualification Description
09/23/2015	\$3,750,000	29790-4348	Qual by exam of deed
04/30/2012	\$1,500,000	28107-3112	Affiliated parties

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

Version:



PHILLIPS

PHILLIPS CONSULTANTS, INC.
1200 WEST 19TH AVENUE
DENVER, COLORADO 80202

CONSULTANT

TITLE

DATE	DESCRIPTION
12/12/2017	1. INITIAL CONCEPTS
02/02/2018	2. PRELIMINARY DESIGN
03/29/2018	3. SCHEMATIC DESIGN
05/03/2018	4. PRELIMINARY CONSTRUCTION DOCUMENTS
06/27/2018	5. FINAL CONSTRUCTION DOCUMENTS
	6. AS-BUILT DRAWINGS



PROTOTYPE CONSTRUCTION V7.0
1/16/2018

OWNER

3840 HWY 42 WEST
MOUNDVILLE, ALABAMA 36764

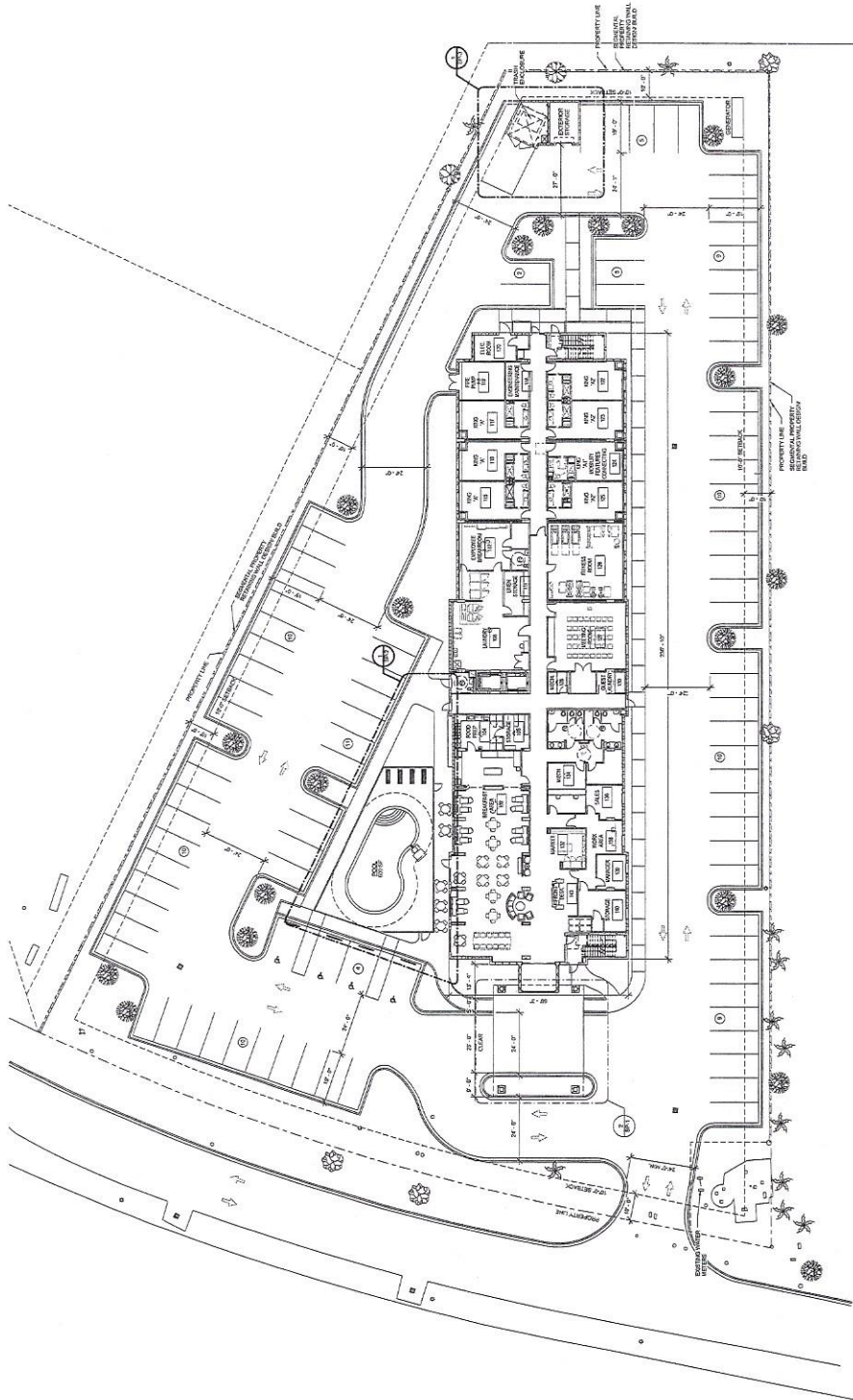
DESIGNER

PHILLIPS JOHN VEDER
VVP/ARCH
1200 WEST 19TH AVENUE
DENVER, COLORADO 80202

NAME TO BE USED BY ARCHITECTURAL
ARCHITECTURAL
SITE PLAN

NET AREA
SP-1

ALABAMA DEPARTMENT OF REVENUE
REVENUE DEPARTMENT
CONSTRUCTION PERMIT
STATE 659
MONTGOMERY, ALABAMA 36103

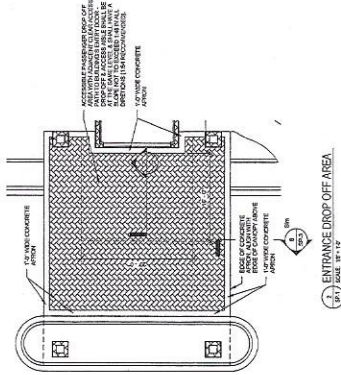


ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

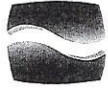
GUEST ROOM ACCESSIBILITY CALCULATIONS	
TOTAL NUMBER OF GUEST ROOMS: 100 UNITS	
MINIMUM REQUIRED	1
ADDITIONAL PROVIDED	99
TOTAL	100

PROJECT SUMMARY - HAMPTON SPA APPOINTMENT, MOUNDVILLE, ALABAMA												
DESCRIPTION	AREA (SQ FT)	NO. ROOMS	NO. RESTROOMS	NO. SHOWER ROOMS	NO. OFFICES	NO. WAITING AREAS	NO. STORAGE	NO. MEETING	NO. RECEPTION	NO. SERVICE	NO. OTHER	TOTAL
LEVEL 1	14,500	3	1	1	1	1	1	1	1	1	1	13
LEVEL 2	14,500	3	1	1	1	1	1	1	1	1	1	13
LEVEL 3	14,500	3	1	1	1	1	1	1	1	1	1	13
LEVEL 4	14,500	3	1	1	1	1	1	1	1	1	1	13
TOTAL	58,000	12	4	4	4	4	4	4	4	4	4	52

ZONING DISTRICT: ARDMAN TRACT DISTRICT	
REQUIRED ALLIANCE	PROVIDED
MINIMUM AREA (SQ FT)	100
MINIMUM FRONT YARD SETBACK (FEET)	10.0'
MINIMUM SIDE YARD SETBACK (FEET)	5.0'
MINIMUM REAR YARD SETBACK (FEET)	5.0'
MAXIMUM BUILDING HEIGHT (FEET)	35.0'
MAXIMUM LOT COVERAGE (%)	20%
MAXIMUM LOT AREA (SQ FT)	10,000
MINIMUM LOT AREA (SQ FT)	10,000
MINIMUM FRONT YARD SETBACK (FEET)	10.0'
MINIMUM SIDE YARD SETBACK (FEET)	5.0'
MINIMUM REAR YARD SETBACK (FEET)	5.0'
MAXIMUM BUILDING HEIGHT (FEET)	35.0'
MAXIMUM LOT COVERAGE (%)	20%
MAXIMUM LOT AREA (SQ FT)	10,000
MINIMUM LOT AREA (SQ FT)	10,000



ENTRANCE DROP OFF AREA
SCALE: 1/8" = 1'-0"



PHILIPS

PROJECT NO. 10000000000000000000

DATE: 10/10/2014

PROJECT: 10000000000000000000

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PRODUCTION VERSION Y10

JAN 2014

DATE: 10/10/2014

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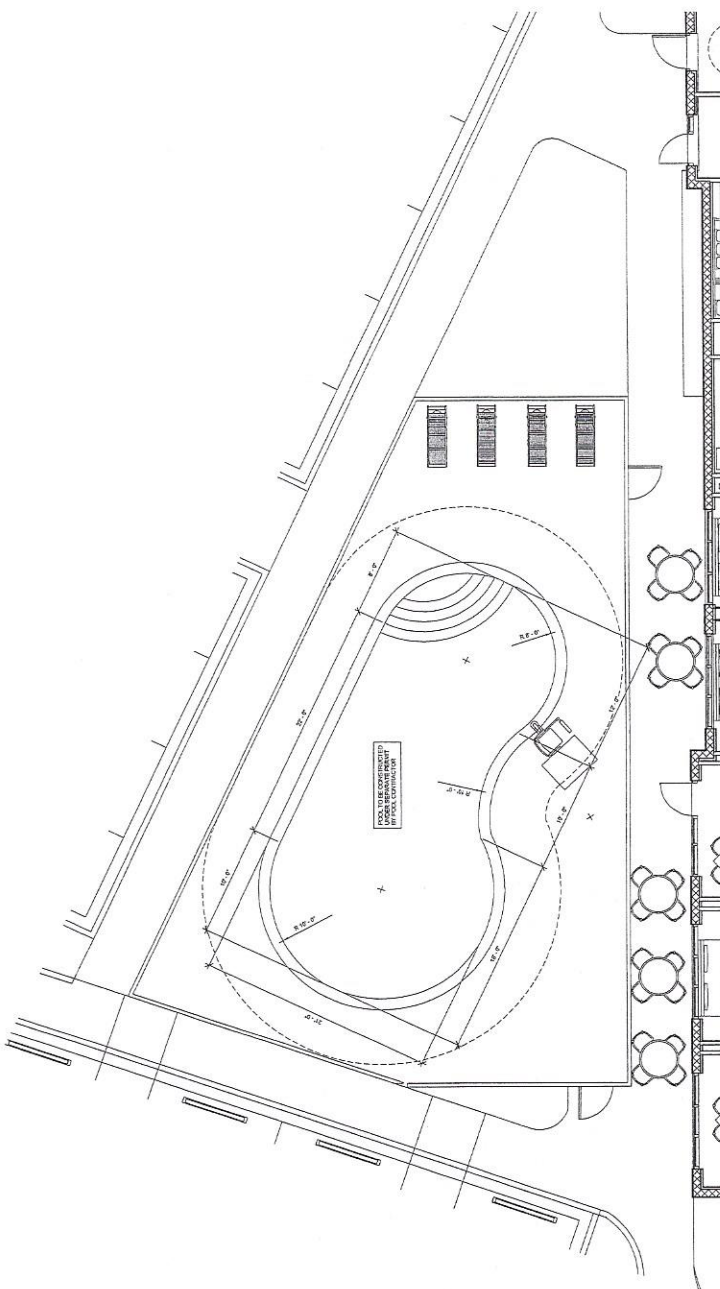
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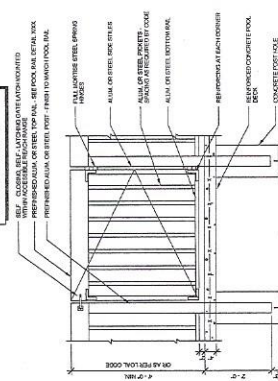
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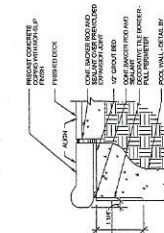


Pool-Enlarged Plan
SCALE: 3/8"=1'-0"

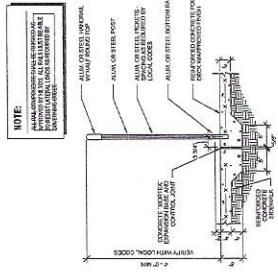
NOTE:
SEE SECTION 05200 FOR CONCRETE FINISH



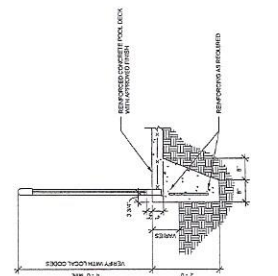
POOL-DECK DETAIL
SCALE: 3/8"=1'-0"



POOL-COPING DETAIL
SCALE: 3/8"=1'-0"



POOL-RAIL DETAIL
SCALE: 3/8"=1'-0"



POOL-RAIL DETAIL 2
SCALE: 3/8"=1'-0"

SP-2

40' FENCE IN CENTER RESSAGE
11.10.14 (REVISED)



PHILIPS

PHILIPS 304 008 - (708) 301 1711

DATE

SCALE

TITLE

PROJECT

PHILIPS 304 008 - (708) 301 1711

ARCHITECT

PROJECT NO.

DATE

PHILIPS 304 008 - (708) 301 1711

PROJECT NO.

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PHILIPS 304 008 - (708) 301 1711

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PROJECT NO.

DATE



HAMPTON INN

PROJECT NO. A-11

PHILIPS 304 008 - (708) 301 1711

PROJECT NO.

DATE

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PROJECT NO.

DATE

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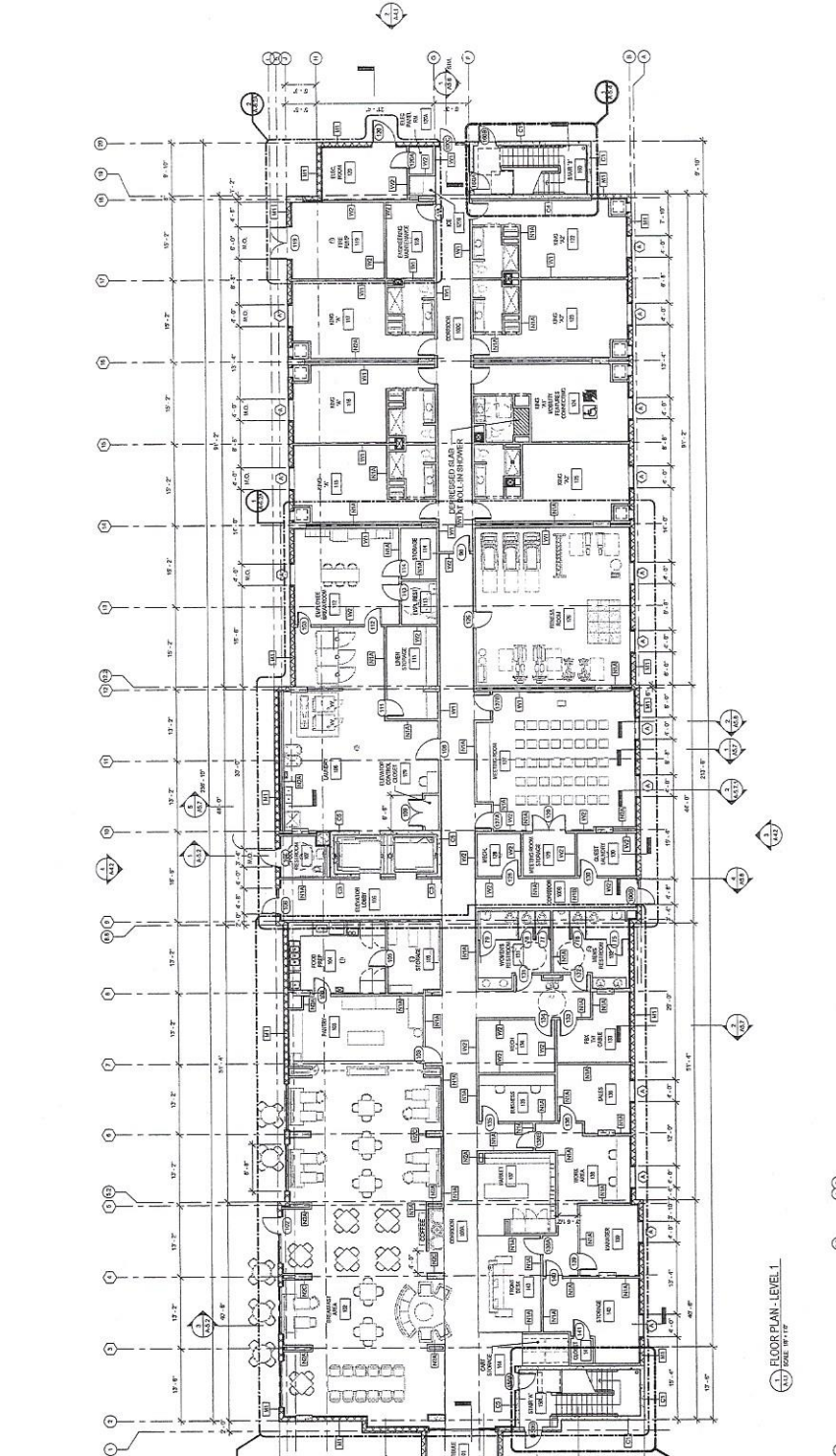
PROJECT NO.

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PROJECT NO.

DATE



GUEST ROOM ACCESSIBILITY CALCULATIONS

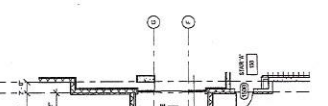
CUSTOMER TYPE	TOTAL NUMBER OF GUEST ROOMS	NUMBER OF GUEST ROOMS REQUIRING ACCESSIBILITY	PERCENTAGE	CODE REFERENCE
STANDARD	20	12	60%	119.2.2.2(2)
TOTAL	20	12	60%	119.2.2.2.2(2)

PROJECT SUMMARY - HAMPTON INN AIRPORT, MIAMI, FL

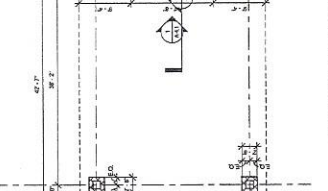
TYPE OF CONSTRUCTION	STANDARD	MINIMUM	DIFFERENCE	TYPE OF CONSTRUCTION	STANDARD	MINIMUM	DIFFERENCE
LEVEL 1	20	12	8	LEVEL 1	20	12	8
LEVEL 2	20	12	8	LEVEL 2	20	12	8
LEVEL 3	20	12	8	LEVEL 3	20	12	8
LEVEL 4	20	12	8	LEVEL 4	20	12	8
TOTAL	80	48	32	TOTAL	80	48	32

GENERAL NOTES

1. ALL SMALL ERRORS AND DISCREPANCIES IN THE CONTRACT DOCUMENTS TO THE ARCHITECT BEFORE PROCEEDING WITH ANY CONSTRUCTION.
2. REFER TO ALL DIMENSIONS AND DIMENSIONS REFER TO LARGE DIMENSIONS.
3. REFER TO WALL TYPE DETAILS FOR WALL TYPE DESCRIPTIONS, SHEET A-100.
4. REFER TO ALL TYPE DETAILS FOR WALL TYPE DESCRIPTIONS.
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29. WITH OWNER BEFORE PROCEEDING WITH WORK.
30. WITH OWNER BEFORE PROCEEDING WITH WORK.



FLOOR PLAN - LEVEL 1
SCALE 1/4\"/>



FLOOR PLAN - PORTE-COCHERE
SCALE 1/4\"/>

A-11

FLOOR PLAN
LEVEL 1

DATE

PHILIPS 304 008 - (708) 301 1711

PROJECT NO.

DATE

PHILIPS 304 008 - (708) 301 1711

PROJECT NO.

DATE

PHILIPS 304 008 - (708) 301 1711

PROJECT NO.

DATE

PHILIPS 304 008 - (708) 301 1711

PROJECT NO.

DATE

PHILIPS 304 008 - (708) 301 1711

PROJECT NO.

DATE

PHILIPS 304 008 - (708) 301 1711

PROJECT NO.

DATE



PHILIPS

PROJ. NO. 1405 DATE: FEB 1994

CONTRACT	
TITLE	
DATE & REVISIONS	
NO.	
BY	
DATE	
REVISIONS	
NO.	
BY	
DATE	



PROJ. NO. 1405 DATE: FEB 1994

LOCATION	
CLIENT	
DESIGNER/PLANNER	
ARCHITECT/FIRM	

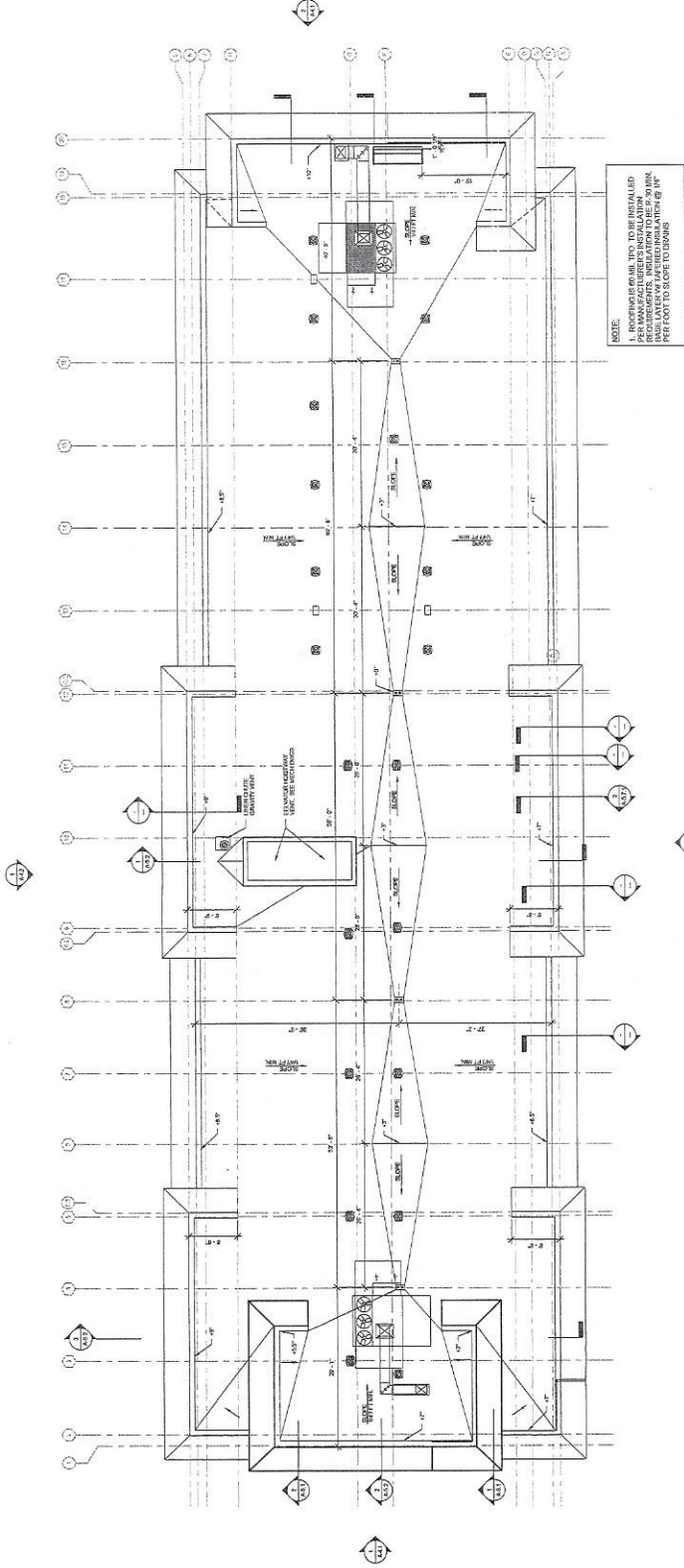
PREPARED BY	
CHECKED BY	
DATE	
SCALE	
SHEET NO.	
TOTAL SHEETS	

ROOF PLAN

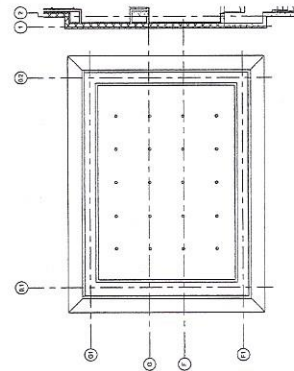
SHEET NUMBER

A-2.1

PROJECT LOCATION: SUITE 605, 401 TERRACE IN CHERRY HILLS, ALABAMA



ROOF PLAN SCALE: 1/4" = 1'-0"



ROOF PLAN - PORTIE COCHIERE SCALE: 1/4" = 1'-0"



PHILIPS

170 5th Ave, Suite 1111, New York, NY 10001

CONSULTANT

REVISION

PROJECT: 3400 AVENUE M...
ARCHITECT: [Redacted]
DATE: [Redacted]

PHOTOGRAPHY: [Redacted]
CITY: [Redacted]
STATE: [Redacted]
COUNTRY: [Redacted]



3400 AVENUE M...
ANN ARBOR, MI 48106

MARKET

CLIENT

DATE: [Redacted]

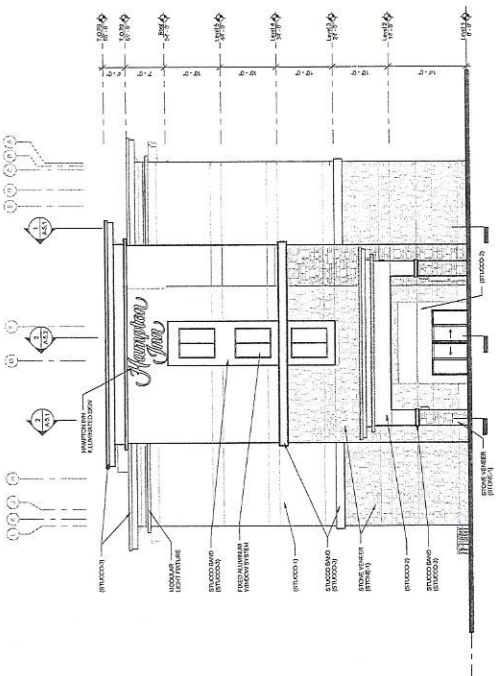
BY: [Redacted]

FOR: [Redacted]

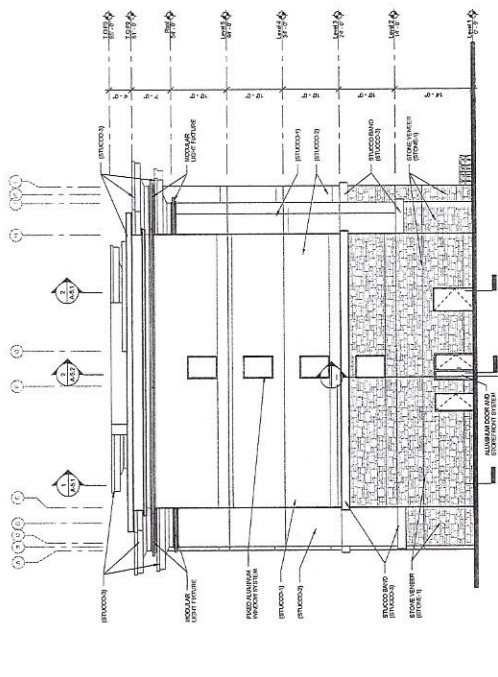
EXTERIOR ELEVATIONS
OPTION-1

A-4.1

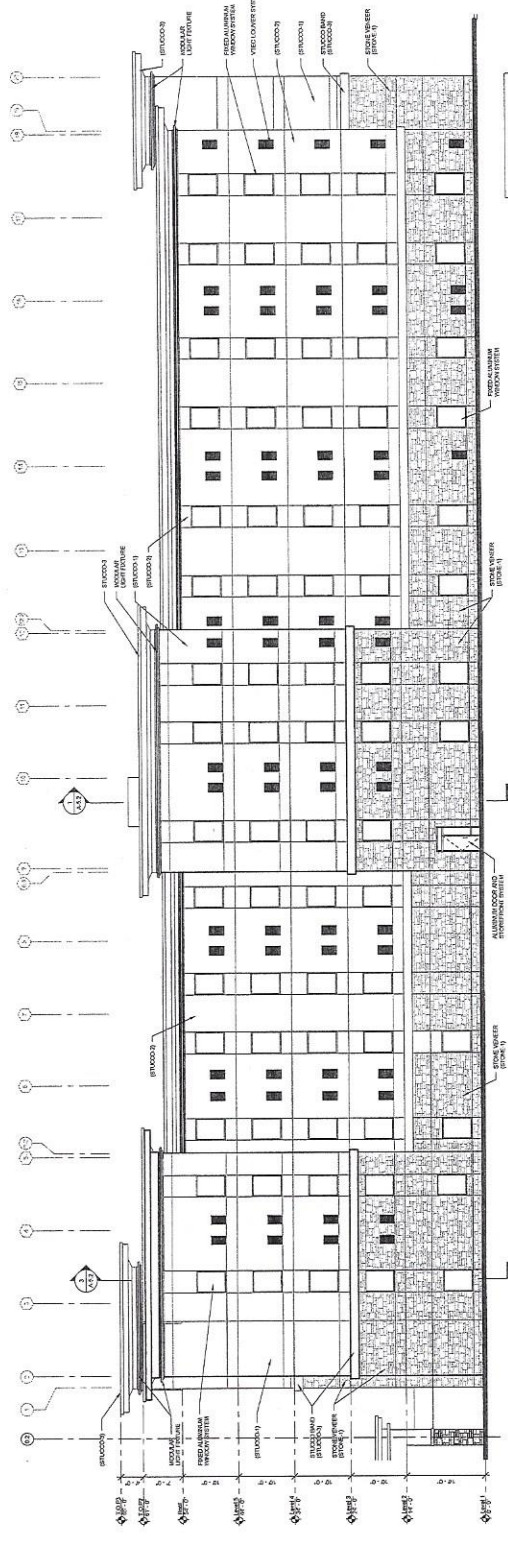
SYSTEMS ARCHITECTURE
ANN ARBOR, MI 48106



EAST ELEVATION
SCALE: 1/8" = 1'-0"



WEST ELEVATION
SCALE: 1/8" = 1'-0"



SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

SYMBOL	KEY	LOCATION
[Pattern]	BRICK	BRICK
[Pattern]	GLAZED	GLAZED
[Pattern]	STONE	STONE
[Pattern]	WOOD	WOOD
[Pattern]	ALUMINUM	ALUMINUM
[Pattern]	STEEL	STEEL
[Pattern]	CONCRETE	CONCRETE



PHILIPS

175 351 1468 - 175 351 1411

REVISED

155

FILE # PROJECT NUMBER
DATE DATE
175 351 1468 175 351 1411

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	12/15/11
2	ISSUED FOR PERMIT	12/15/11
3	ISSUED FOR PERMIT	12/15/11
4	ISSUED FOR PERMIT	12/15/11
5	ISSUED FOR PERMIT	12/15/11
6	ISSUED FOR PERMIT	12/15/11
7	ISSUED FOR PERMIT	12/15/11
8	ISSUED FOR PERMIT	12/15/11
9	ISSUED FOR PERMIT	12/15/11
10	ISSUED FOR PERMIT	12/15/11
11	ISSUED FOR PERMIT	12/15/11
12	ISSUED FOR PERMIT	12/15/11
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14	ISSUED FOR PERMIT	12/15/11
15	ISSUED FOR PERMIT	12/15/11
16	ISSUED FOR PERMIT	12/15/11
17	ISSUED FOR PERMIT	12/15/11
18	ISSUED FOR PERMIT	12/15/11
19	ISSUED FOR PERMIT	12/15/11
20	ISSUED FOR PERMIT	12/15/11

PHILIPS BUILDING SYSTEMS, INC.
175 351 1468 - 175 351 1411



PROSPECTIVE VIEW

PROSPECTIVE VIEW

PROSPECTIVE VIEW

DATE

DATE

DATE

PHILIPS JOB NUMBER

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

DATE

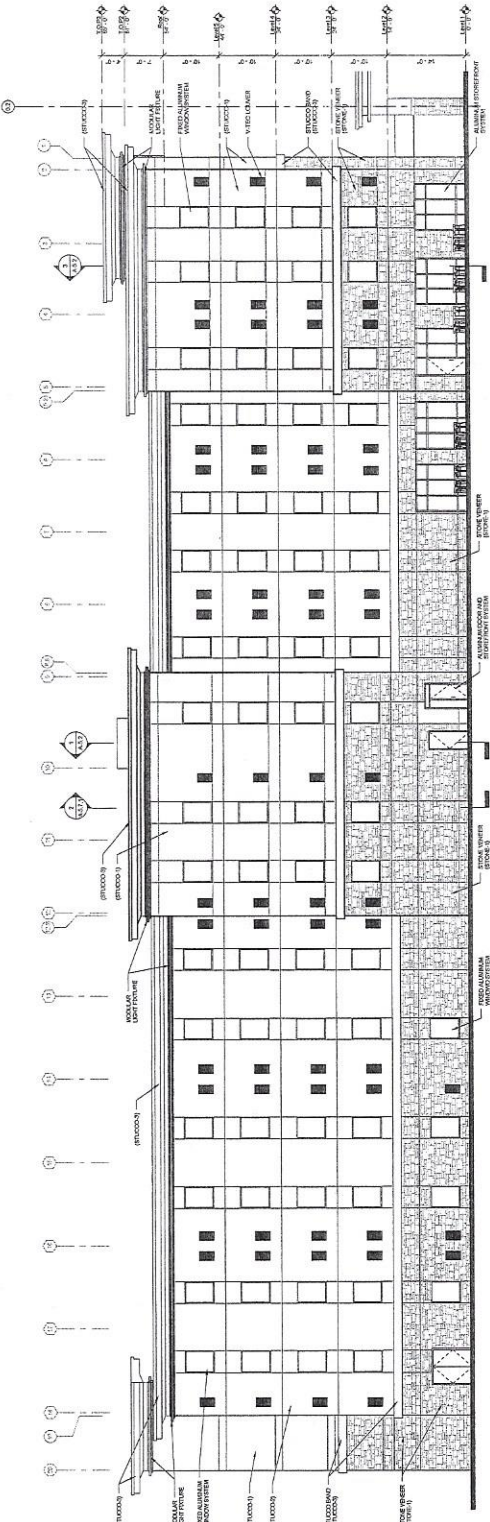
DATE

DATE

EXTERIOR ELEVATIONS
OPTION-1

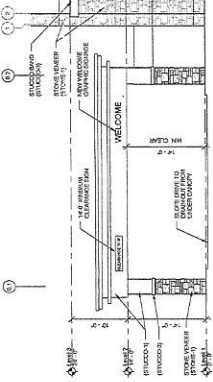
A-4.2

175 351 1468 - 175 351 1411

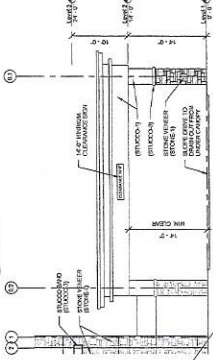


SYMBOL	LOCATION	DESCRIPTION
1	ROOF	ROOF
2	WALL	WALL
3	FLOOR	FLOOR
4	CEILING	CEILING
5	DOOR	DOOR
6	WINDOW	WINDOW
7	SCREEN DOOR	SCREEN DOOR
8	SCREEN WINDOW	SCREEN WINDOW
9	SCREEN DOOR	SCREEN DOOR
10	SCREEN WINDOW	SCREEN WINDOW
11	SCREEN DOOR	SCREEN DOOR
12	SCREEN WINDOW	SCREEN WINDOW
13	SCREEN DOOR	SCREEN DOOR
14	SCREEN WINDOW	SCREEN WINDOW
15	SCREEN DOOR	SCREEN DOOR
16	SCREEN WINDOW	SCREEN WINDOW
17	SCREEN DOOR	SCREEN DOOR
18	SCREEN WINDOW	SCREEN WINDOW
19	SCREEN DOOR	SCREEN DOOR
20	SCREEN WINDOW	SCREEN WINDOW

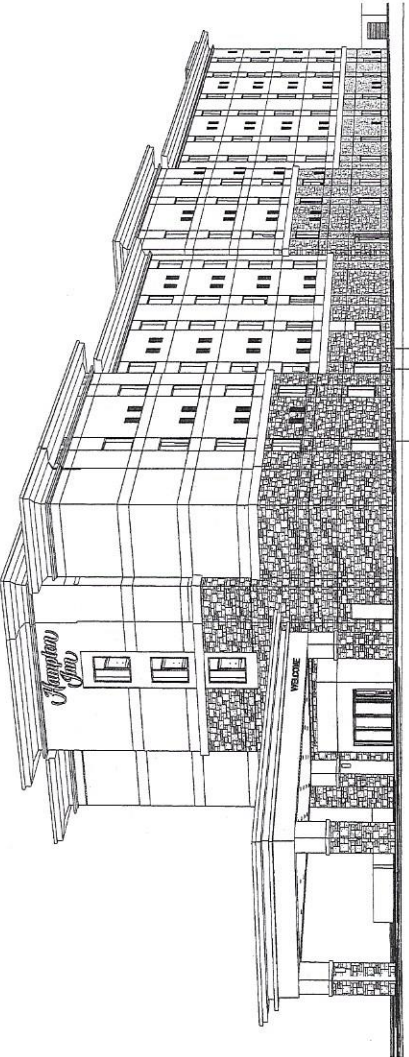
1 NORTH ELEVATION - SCALE: 1/8\"/>



2 SOUTH ELEVATION - PORTE COCHERE - SCALE: 1/8\"/>



3 NORTH ELEVATION - PORTE COCHERE - SCALE: 1/8\"/>



4 3D PERSPECTIVE VIEW - SCALE: 1/8\"/>



PHILIPS

PHILIPS BUILDING

CONTRACT NO.

TITLE

DATE

BY

CHECKED

APPROVED

SCALE

PROJECT

PHILIPS BUILDING



PROTOTYPAL BUILDING W/D

JULY 2014

CLIENT

3000 HWY 67 AVE

HOUSTON, TX 77058

OWNER

DESIGNER

DATE

BY

CHECKED

APPROVED

SCALE

PROJECT

PHILIPS BUILDING

JULY 2014

CLIENT

3000 HWY 67 AVE

HOUSTON, TX 77058

OWNER

DESIGNER

DATE

BY

CHECKED

APPROVED

SCALE

PROJECT

PHILIPS BUILDING

JULY 2014

CLIENT

3000 HWY 67 AVE

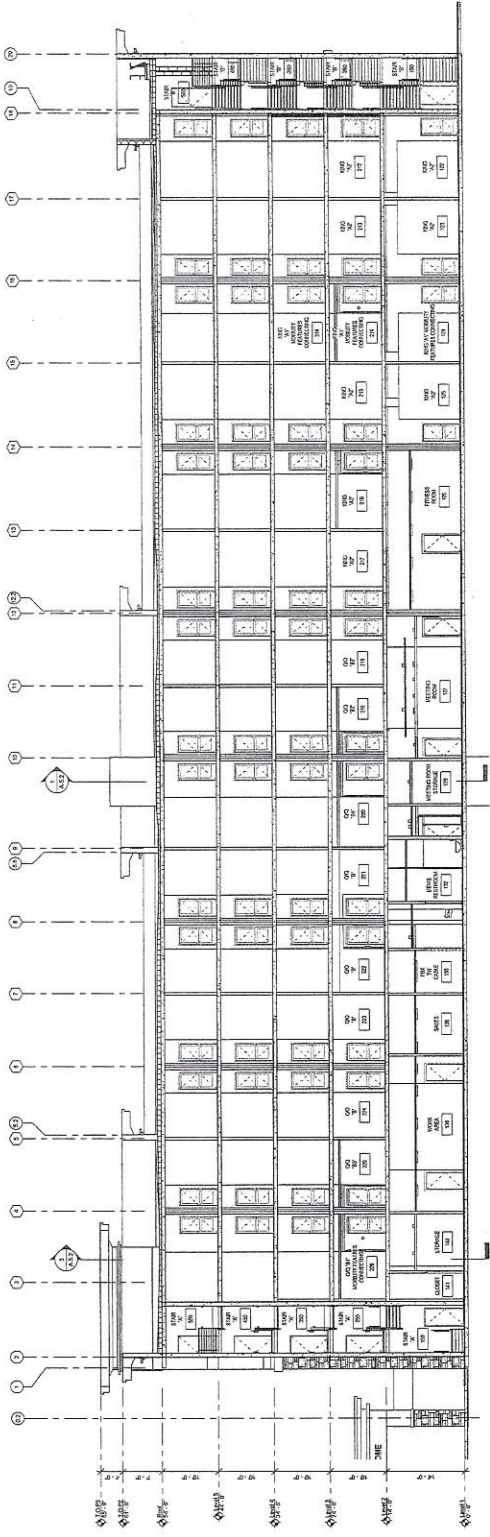
HOUSTON, TX 77058

OWNER

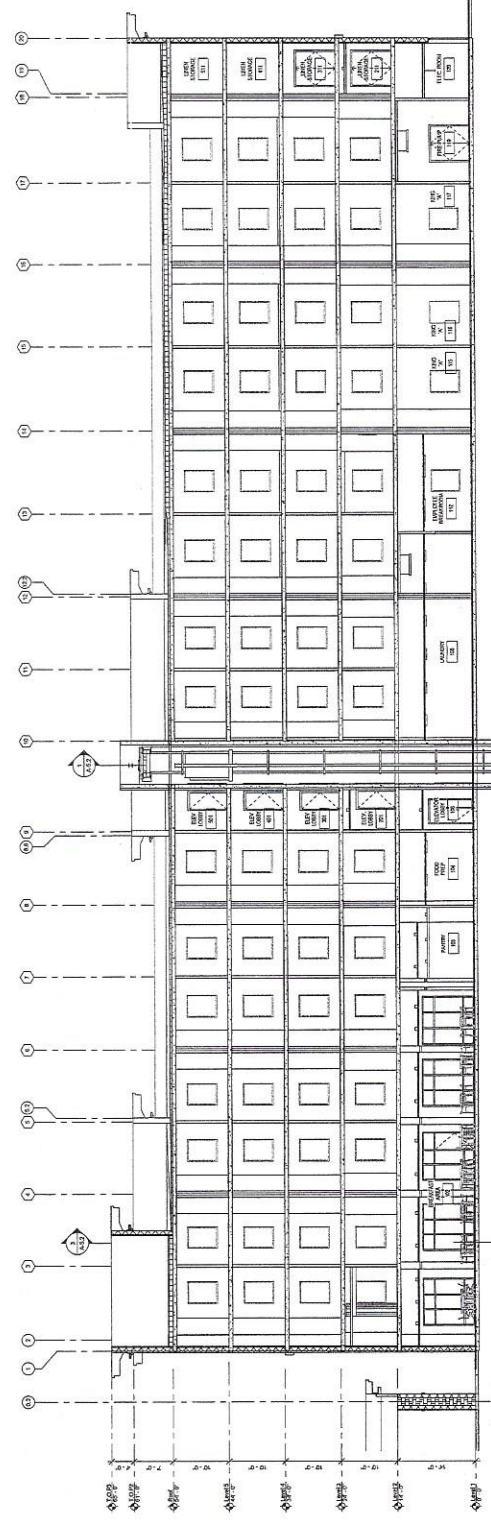
DESIGNER

DATE

BY



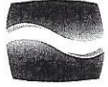
1. BUILDING SECTION
SCALE: 1/8" = 1'-0"



2. BUILDING SECTION
SCALE: 1/8" = 1'-0"

A-5.1

PHILIPS BUILDING
3000 HWY 67 AVE
HOUSTON, TEXAS 77058



PHILIPS

FOR THE YEAR TO 31.03.2011

CONTRACT NO.

FILE NO.

NAME & ADDRESS OF THE CLIENT

TITLE

DATE

SCALE

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

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PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.



PROTOTYPE VERSION 17.0
2011.01.11

LOCATION

3449 HWY 62 AVE
MEMPHIS, TN, 38122

CUSTOMER

PHILIPS

DESIGNED BY

DATE

SCALE

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

PROJECT NO.

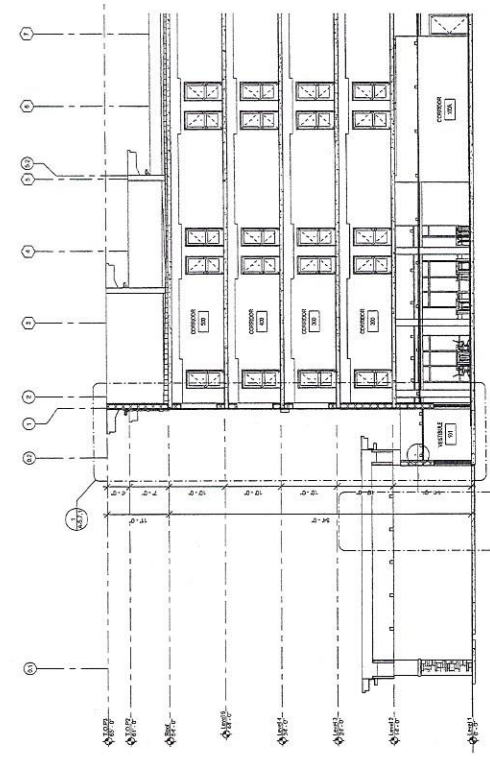
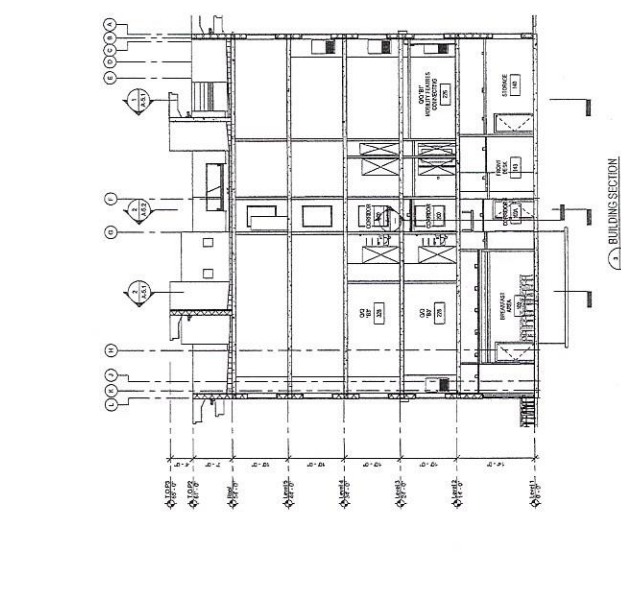
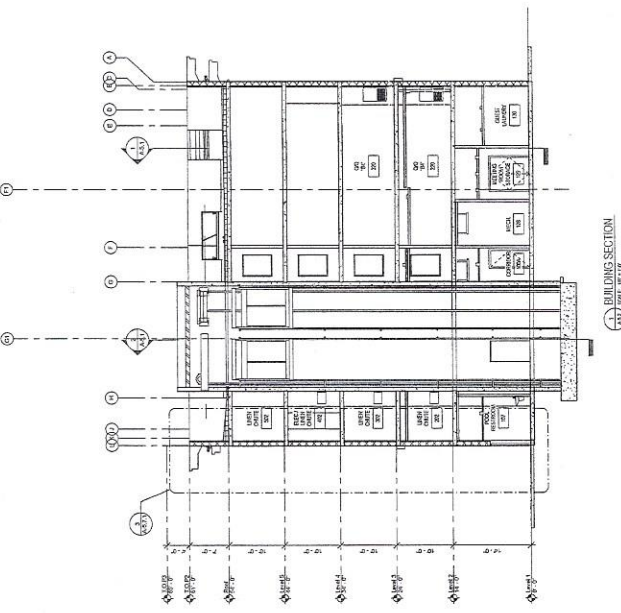
PROJECT NO.

PROJECT NO.

BUILDING SECTIONS

A-5.2

ISSUED FOR PERMITS
3075 BENTLEY BLVD
SUITE 500
ATLANTA, GEORGIA 30328



BUILDING SECTION
A-5.3
SECTION 17-13



CONSTRUCTIVE ENGINEERING & SURVEY, INC.
 3400 N. WINDY HILL DRIVE
 SUITE 100
 TAMPA, FLORIDA 33618
 (813) 977-6000
 FAX: (813) 977-6000

FOR THE WORK
 NO. 2014-001
 PRINTED
 DATE: 08-25-15

DATE: 08-25-15

PROJECT NO.: 10046

REVISIONS

SCALE: AS SHOWN

SHEET NUMBER:

HAMPTON INN
 3448 NW 42ND AVENUE
 MIAMI SPRINGS, FLORIDA 33142

HAYWOOD HOTELS
 3780 NW 42ND AVENUE, SUITE 204
 MIAMI, FLORIDA 33166
 (305) 747-6169

PAVING-GRADING-
 DRAINAGE PLAN
 AND NOTES

DRAWN BY: S.D.
 CHECKED BY: M.H.O.
 APPROVED BY: N.T.O.

DATE: 08-25-15
 PROJECT NO.: 10046

REVISIONS

SCALE: AS SHOWN

SHEET NUMBER:

C-3

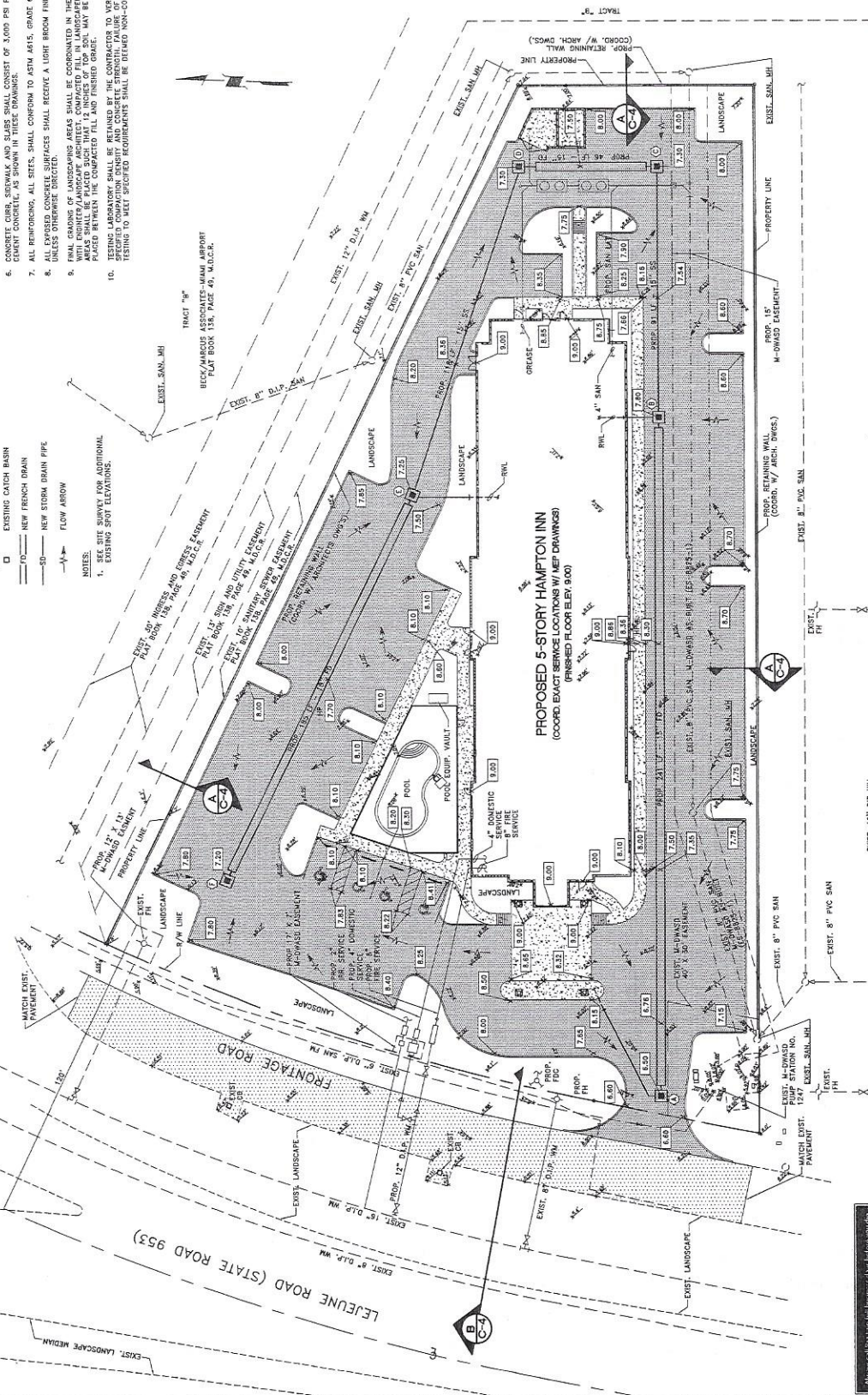
3 OF 10

PAVING-GRADING-DRAINAGE NOTES

1. ALL PAVING-GRADING AND DRAINAGE WORK SHALL BE PERFORMED IN ACCORDANCE WITH CITY OF MIAMI SPRINGS STANDARDS & SPECIFICATIONS.
2. GRADING SHALL BE TO ALL EXISTING FINISH, SHARING AND STORM SURFACES, SLOPES, INTERSECTIONS, PAVEMENTS AND OTHER SURFACES IN ACCORDANCE WITH THE ADJUSTMENT AND GRADES SHOWN IN THESE DRAWINGS.
3. DRAINAGE STRUCTURES SHALL BE AS DETAILED IN THESE DRAWINGS. DRAINAGE PIPE TO BE CORRUGATED POLYETHYLENE.
4. SMOOTH ALL PAVEMENT EDGES WHERE EXISTING PAVEMENT IS TO REMAIN.
5. ASPHALTIC PAVEMENTS SHALL CONSIST OF COMPACTED SURBASE, COMPACTED SUBBASE AND TYPE 5-3 ASPHALTIC CONCRETE, AS SHOWN IN THESE DRAWINGS.
6. CONCRETE CURBS, SIDEWALKS AND SLABS SHALL CONSIST OF 3,000 PSI PORTLAND CEMENT CONCRETE, AS SHOWN IN THESE DRAWINGS.
7. ALL REINFORCING, ALL SIZES, SHALL CONFORM TO ASTM A615, GRADE 60, UNLESS OTHERWISE DIRECTED.
8. ALL EXPOSED CONCRETE SURFACES SHALL RECEIVE A LIGHT BROOM FINISH, UNLESS OTHERWISE DIRECTED.
9. FINAL GRADING OF LANDSCAPING AREAS SHALL BE COORDINATED IN THE FIELD WITH THE LANDSCAPE ARCHITECT'S FINAL GRADING PLAN AND FINISHED GRADES PLACED BETWEEN THE COMPACTED FILL AND FINISHED GRADE.
10. TESTING LABORATORY SHALL BE RETAINED BY THE CONTRACTOR TO VERIFY THE GRADING AND DRAINAGE WORK. TESTING TO MEET SPECIFIED REQUIREMENTS SHALL BE RETAINED NON-COMPILING.

LEGEND

- NEW ASPHALTIC PAVEMENT
 - NEW ASPHALTIC PAVEMENT WITH 1" MILD AND REINFORCED (1" MR)
 - NEW CONCRETE PAVEMENT/ SIDEWALK
 - EXISTING SPOT ELEVATION
 - NEW SPOT ELEVATION
 - NEW STRUCTURE I.D.
 - NEW CATCH BASIN
 - EXISTING CATCH BASIN
 - NEW FRENCH DRAIN
 - NEW STORM DRAIN PIPE
 - FLOW ARROW
- NOTES:
 1. SEE SITE SURVEY FOR ADDITIONAL EXISTING SPOT ELEVATIONS.



PAVING-GRADING-DRAINAGE PLAN
 SCALE: 1" = 20'





CONSULTING ENGINEERS & SCIENTISTS, INC.
 18700 N. WINDY HILLS BLVD., SUITE 400
 WINDY HILLS, FL 33486
 (813) 370-6600

DATE	REVISION	BY	CHKD.	APP'D.
11-08-10	ISSUE FOR PERMIT			

HAMPTON INN
 3449 NW 42ND AVENUE
 MIAMI SPRINGS, FLORIDA 33162

RAYWOOD HOTELS
 37395 N.W. 42ND AVENUE, SUITE 204
 DORAL, FLORIDA 33166
 (954) 747-0100

WATER & SEWER PLAN

DRAWN BY: G.O.G.
 CHECKED BY: N.H.C.
 APPROVED BY: N.H.C.
 DATE: 07-21-15
 PROJECT NO.: 15045

SELLER: J.S. BROWN
 BUYER NUMBER:

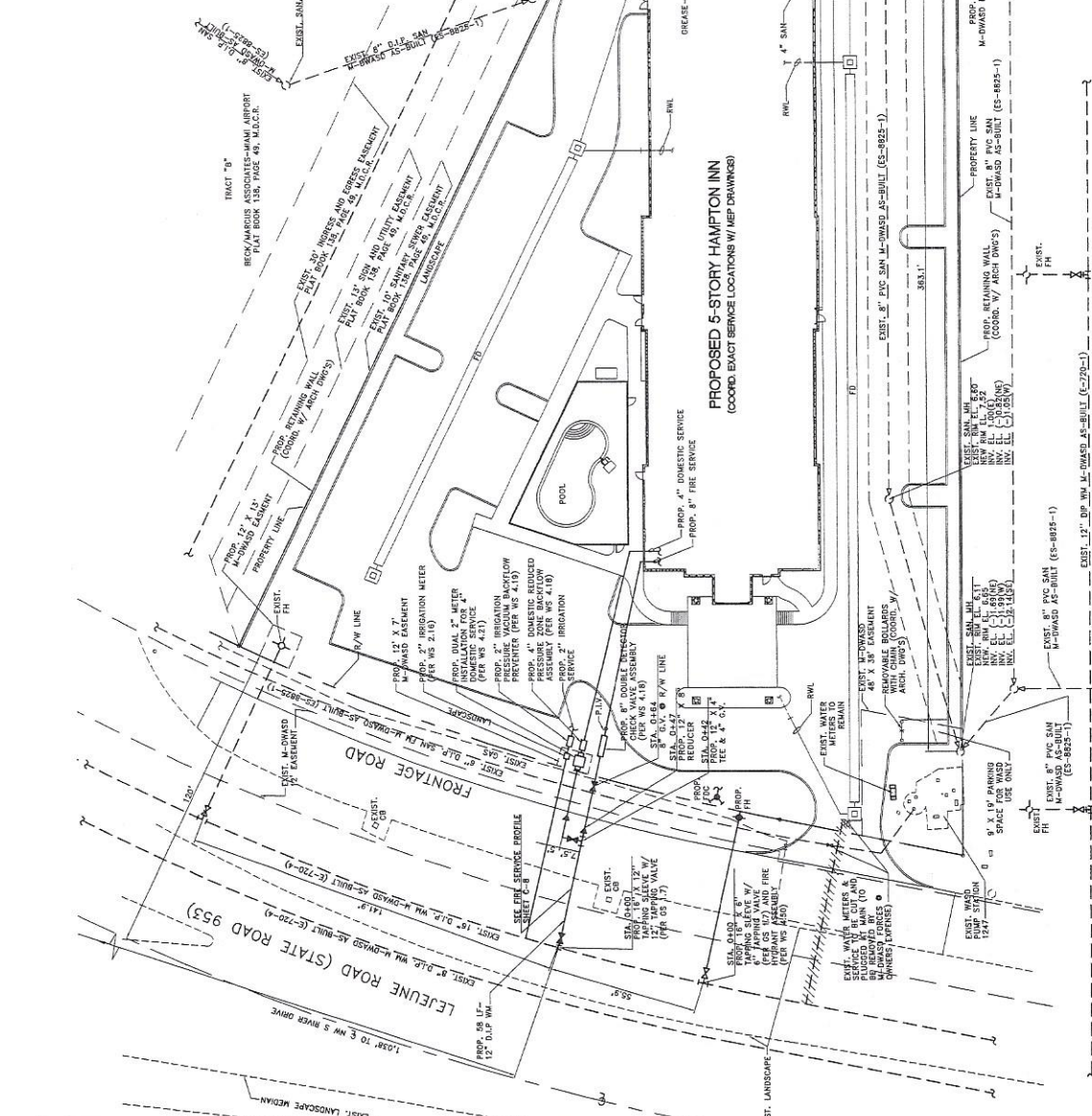
C-7

7 OF 10

LEGEND

EXISTING	PROPOSED
WATER MAIN	WATER MAIN
GATE VALVE	GATE VALVE
FIRE HYDRANT	FIRE HYDRANT
METER INSTALLATION CONNECTION	METER INSTALLATION CONNECTION
FIRE DEPT. CONN.	FIRE DEPT. CONN.
SAN. MANHOLE	SAN. MANHOLE
SAN. MAIN	SAN. MAIN
SAN. CLEANOUT	SAN. CLEANOUT

- COORDINATE EXACT SERVICE LOCATIONS WITH PLUMBING AND FIRE PROTECTION DRAWINGS.
- ALL WATER AND SEWER CROSSINGS PER OS I.S.



M-DWASD AGREEMENT ID# 22395

WATER & SEWER PLAN

SCALE: 1" = 20'



PHILLIPS

7700 N.W. 42ND AVENUE
MIAMI, FLORIDA 33147

CONSULTANT



KELLI
2100 N.W. 42ND AVENUE
MIAMI, FLORIDA 33147
PH: 305.441.1000
F: 305.441.1001

ISSUE & REVISION RECORD

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR CONSTRUCTION

NO.	DATE	DESCRIPTION
1		ISSUED FOR PERMITS
2		ISSUED FOR CONSTRUCTION



HAMPTON INN
MIAMI AIRPORT
3449 NW 42ND AVE
MIAMI, FLORIDA

BAYWOOD HOTELS
1385 NW 42ND AVENUE, SUITE 201
MIAMI, FLORIDA 33147

PHILLIPS JOB NUMBER
ISSUE DATE
DRAWN BY/CHECKED BY
DRAWING TITLE

LANDSCAPE PLAN

SHEET NUMBER
LP-1

PLANT LIST

KEY	QUANTITY	PLANT NAME AND SPECIFICATION
N 05	6	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 06	41	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 07	5	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 08	7	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 09	9	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 10	15	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 11	3	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 12	4	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 13	7	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
SHRUBS & SPERMATOPHYTES		
N 14	8	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 15	29	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 16	173	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 17	100	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 18	4	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 19	40	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 20	5	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 21	11	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 22	152	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 23	25	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 24	105	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 25	25	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 26	300	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 27	80	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 28	15	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 29	15	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 30	200	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 31	3	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 32	15	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 33	105	1 1/2" x 1 1/2" x 1 1/2" (3" deep)
N 34	70	1 1/2" x 1 1/2" x 1 1/2" (3" deep)

NOTES

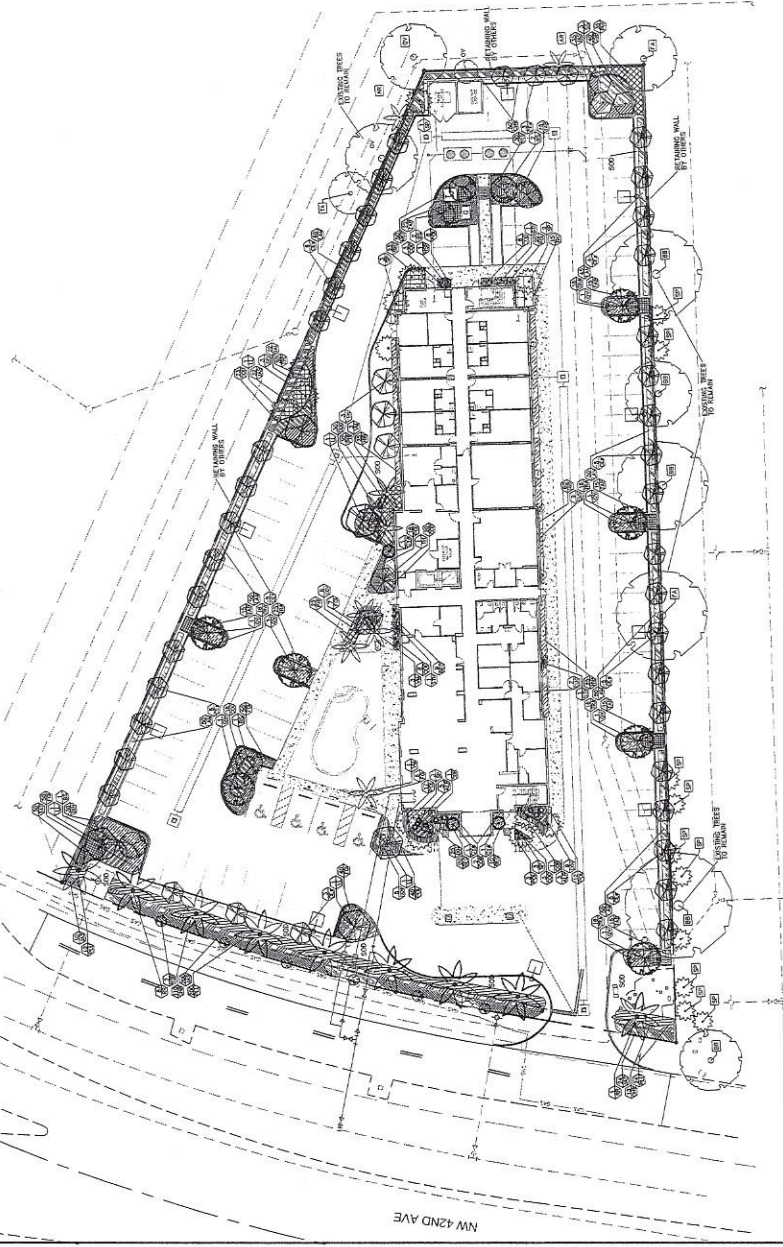
All landscape areas to receive 100% coverage from overhead lighting system which approved water source and supports a rain sensor valve. Provide bubblers for large trees and poles.

All plants to be approved non-toxic. See specifications. All plants with Companion or other suitable plants and the same shall not be covered from the property.

PLANT SPECIFICATIONS

SHRUBS: 1 1/2" x 1 1/2" x 1 1/2" (3" deep)

TREES: 1 1/2" x 1 1/2" x 1 1/2" (3" deep)



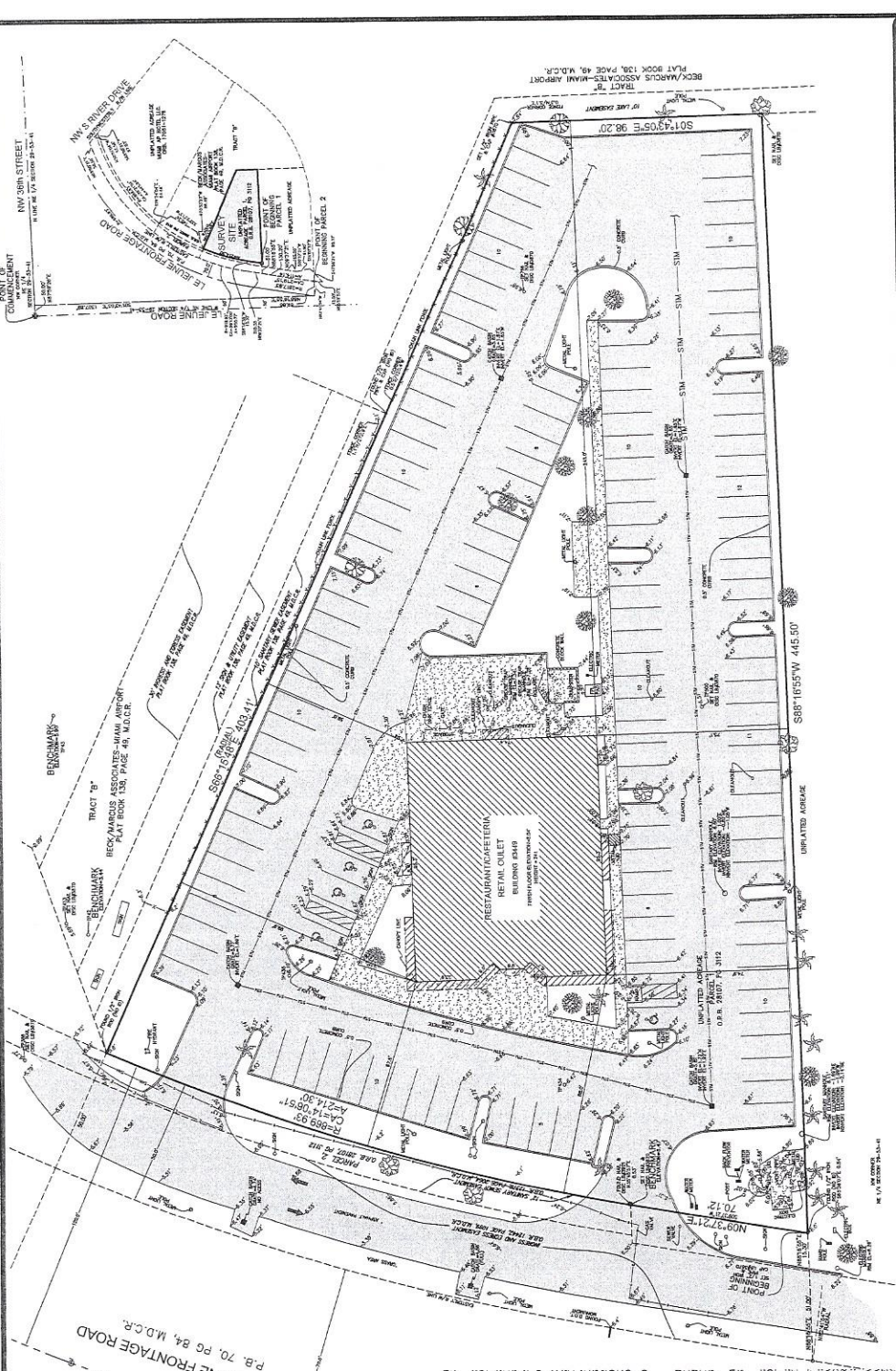
GRAPHIC SCALE
0 20 40

SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY VARY
VERIFY SCALE USING BAR SCALE ABOVE

LEGEND

- [Symbol] CONCRETE
- [Symbol] ASPHALT PAVEMENT
- [Symbol] OVERHEAD WIRES
- [Symbol] UNDERGROUND ELECTRIC LINE
- [Symbol] UNDERGROUND GAS LINE
- [Symbol] UNDERGROUND STORM SEWER LINE
- [Symbol] UNDERGROUND SANITARY SEWER LINE
- [Symbol] CENTERLINE COUNTY RECORDS
- [Symbol] TRAVEL POINT (FOR FIELD INFORMATION ONLY)
- [Symbol] R RADIOS
- [Symbol] CA CENTRAL ANGLE
- [Symbol] A ARC LENGTH
- [Symbol] FFL FLORIDA POWER & LIGHT COMPANY
- [Symbol] MCDR. MAINE-COAST COUNTY RECORDS
- [Symbol] P.B. PAGE BOOK
- [Symbol] BLACK OLIVE TREE
- [Symbol] LINE OAK TREE
- [Symbol] PALM TREE
- [Symbol] UNDEVELOPED TREE



LEGAL DESCRIPTION:

PARCEL 1: A PORTION OF THE NE 1/4 OF SECTION 20, TOWNSHIP 23 SOUTH, RANGE 41 EAST, MIAMI-DADE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NE 1/4 OF SAID SECTION 20; THENCE SOUTH 87°52'00\"/>

PARCEL 2: EASEMENT RIGHTS CREATED IN DECLARATION OF EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 14247 PAGE 2897, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NE 1/4 OF SECTION 20; THENCE SOUTH 87°52'00\"/>

NOTES:

- 1) PARCEL CONTAINS 26,740 SQUARE FEET (APPROX.) ASSESSOR'S MAP NO. 10,240
- 2) BENCHMARK P.33: ELEVATION: 827 FEET.
- 3) BENCHMARK P.35: ELEVATION: 827 FEET.
- 4) BENCHMARK P.36: ELEVATION: 827 FEET.
- 5) BENCHMARK P.37: ELEVATION: 827 FEET.
- 6) BENCHMARK P.38: ELEVATION: 827 FEET.
- 7) BENCHMARK P.39: ELEVATION: 827 FEET.
- 8) BENCHMARK P.40: ELEVATION: 827 FEET.
- 9) BENCHMARK P.41: ELEVATION: 827 FEET.
- 10) BENCHMARK P.42: ELEVATION: 827 FEET.
- 11) BENCHMARK P.43: ELEVATION: 827 FEET.
- 12) BENCHMARK P.44: ELEVATION: 827 FEET.
- 13) BENCHMARK P.45: ELEVATION: 827 FEET.
- 14) BENCHMARK P.46: ELEVATION: 827 FEET.
- 15) BENCHMARK P.47: ELEVATION: 827 FEET.
- 16) BENCHMARK P.48: ELEVATION: 827 FEET.
- 17) BENCHMARK P.49: ELEVATION: 827 FEET.
- 18) BENCHMARK P.50: ELEVATION: 827 FEET.
- 19) BENCHMARK P.51: ELEVATION: 827 FEET.
- 20) BENCHMARK P.52: ELEVATION: 827 FEET.
- 21) BENCHMARK P.53: ELEVATION: 827 FEET.
- 22) BENCHMARK P.54: ELEVATION: 827 FEET.
- 23) BENCHMARK P.55: ELEVATION: 827 FEET.
- 24) BENCHMARK P.56: ELEVATION: 827 FEET.
- 25) BENCHMARK P.57: ELEVATION: 827 FEET.
- 26) BENCHMARK P.58: ELEVATION: 827 FEET.
- 27) BENCHMARK P.59: ELEVATION: 827 FEET.
- 28) BENCHMARK P.60: ELEVATION: 827 FEET.
- 29) BENCHMARK P.61: ELEVATION: 827 FEET.
- 30) BENCHMARK P.62: ELEVATION: 827 FEET.
- 31) BENCHMARK P.63: ELEVATION: 827 FEET.
- 32) BENCHMARK P.64: ELEVATION: 827 FEET.
- 33) BENCHMARK P.65: ELEVATION: 827 FEET.
- 34) BENCHMARK P.66: ELEVATION: 827 FEET.
- 35) BENCHMARK P.67: ELEVATION: 827 FEET.
- 36) BENCHMARK P.68: ELEVATION: 827 FEET.
- 37) BENCHMARK P.69: ELEVATION: 827 FEET.
- 38) BENCHMARK P.70: ELEVATION: 827 FEET.
- 39) BENCHMARK P.71: ELEVATION: 827 FEET.
- 40) BENCHMARK P.72: ELEVATION: 827 FEET.
- 41) BENCHMARK P.73: ELEVATION: 827 FEET.
- 42) BENCHMARK P.74: ELEVATION: 827 FEET.
- 43) BENCHMARK P.75: ELEVATION: 827 FEET.
- 44) BENCHMARK P.76: ELEVATION: 827 FEET.
- 45) BENCHMARK P.77: ELEVATION: 827 FEET.
- 46) BENCHMARK P.78: ELEVATION: 827 FEET.
- 47) BENCHMARK P.79: ELEVATION: 827 FEET.
- 48) BENCHMARK P.80: ELEVATION: 827 FEET.
- 49) BENCHMARK P.81: ELEVATION: 827 FEET.
- 50) BENCHMARK P.82: ELEVATION: 827 FEET.
- 51) BENCHMARK P.83: ELEVATION: 827 FEET.
- 52) BENCHMARK P.84: ELEVATION: 827 FEET.
- 53) BENCHMARK P.85: ELEVATION: 827 FEET.
- 54) BENCHMARK P.86: ELEVATION: 827 FEET.
- 55) BENCHMARK P.87: ELEVATION: 827 FEET.
- 56) BENCHMARK P.88: ELEVATION: 827 FEET.
- 57) BENCHMARK P.89: ELEVATION: 827 FEET.
- 58) BENCHMARK P.90: ELEVATION: 827 FEET.
- 59) BENCHMARK P.91: ELEVATION: 827 FEET.
- 60) BENCHMARK P.92: ELEVATION: 827 FEET.
- 61) BENCHMARK P.93: ELEVATION: 827 FEET.
- 62) BENCHMARK P.94: ELEVATION: 827 FEET.
- 63) BENCHMARK P.95: ELEVATION: 827 FEET.
- 64) BENCHMARK P.96: ELEVATION: 827 FEET.
- 65) BENCHMARK P.97: ELEVATION: 827 FEET.
- 66) BENCHMARK P.98: ELEVATION: 827 FEET.
- 67) BENCHMARK P.99: ELEVATION: 827 FEET.
- 68) BENCHMARK P.100: ELEVATION: 827 FEET.

BOUNDARY AND TOPOGRAPHIC SURVEY

NO.	REVISIONS	BY

COMMERCIAL PROPERTY
 1500 MIAMI-DADE COUNTY, FLORIDA
 MIAMI SPAINES, FLORIDA, 33131

POLICE LAND SURVEYORS, INC.
 SUNRISE, FLORIDA 33351
 TELEPHONE: (954) 572-1777
 E-MAIL: info@police-land.com
 CERTIFICATE OF AUTHORIZATION LR#870

DRAWN BY: J.E.P.
 CHECKED BY: J.E.P.
 SCALE: 1" = 20'
 SURVEY DATE: 2011
 ORDER NO.: 09071

ELECTRICAL INC.

CERTIFICATION: THAT THIS SECTION OF SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS SET FORTH BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES (DACS) CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

JOHN F. POLICE, PROFESSIONAL SURVEYOR AND MAPPER LR#871
 BETH BRUNS, PROFESSIONAL SURVEYOR AND MAPPER LR#318
 STATE OF FLORIDA